

# Hillingdon Planning Committee

Wednesday 9th April 2025



**HILLINGDON**  
LONDON

[www.hillingdon.gov.uk](http://www.hillingdon.gov.uk)

**Report of the Head of Development Management and Building Control**

**Address:** 18 & 20 WILMAR CLOSE HAYES  
**Development:** Change of use of 2no. outbuildings to granny annexes  
**LBH Ref Nos:** 67410/APP/2024/2641

DRAW IT  
Architectural Technician/Consultant

Mr. Money Qadri

Agent

#/3/WD5/OTR  
Herts.

Mobile: 07949 035 715

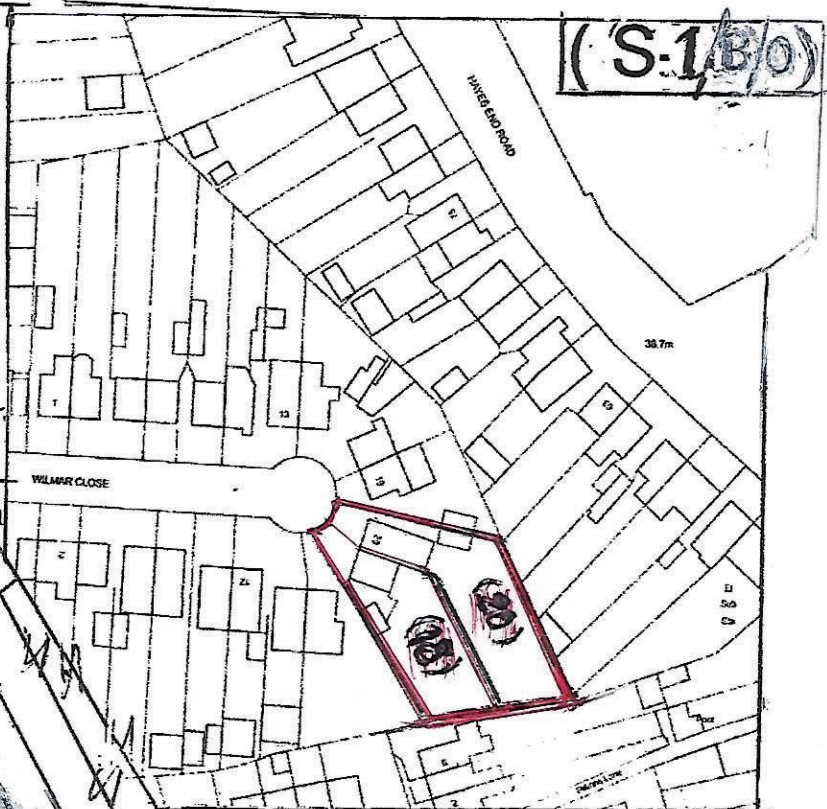
draw\_it@hotmail.com

(S-1/B/O)

COUNCIL REF/#: 18/20/...

5m 10m 15m 20m 25m 30m 35m 40m

NOTE: - 1. SCALE BAR,  
PROPOSED 1:500, on A-4.  
SITE PLAN WITH POSITIONS OF THE  
OUTBUILDINGS - CLEARLY SHOWN  
IN THE BOTH GARDENS.  
ROAD HERE



LOCATION PLAN (1:1250)

PLANNING PORTAL REF/#

PP.

OWNER:-  
MR. SUTY  
BHARRICH

H/18-20,  
WILMER  
CLOSE,  
HAYES  
MIDDX:-  
LONDON  
UB4 8ET.

SCALE  
AS  
SHOWN

DATE:-  
25/09/2024

DWG#-  
S/18+20/A-4

SHT# (S-1/B/O,  
OF S-3/B/O.

REVISED  
DATE  
03/10/24



EXISTING SITE PLAN (1:500)

(RETROSPECTIVE)

ReQuestaPlan

Metres

Plan Produced for: MR. SUTY BHARRICH

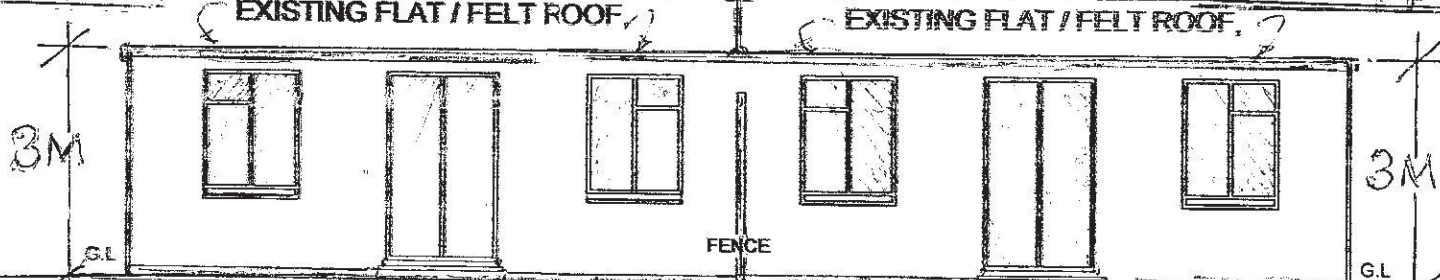
Date Produced: 02 May 2023

DATE:-  
03/10/24

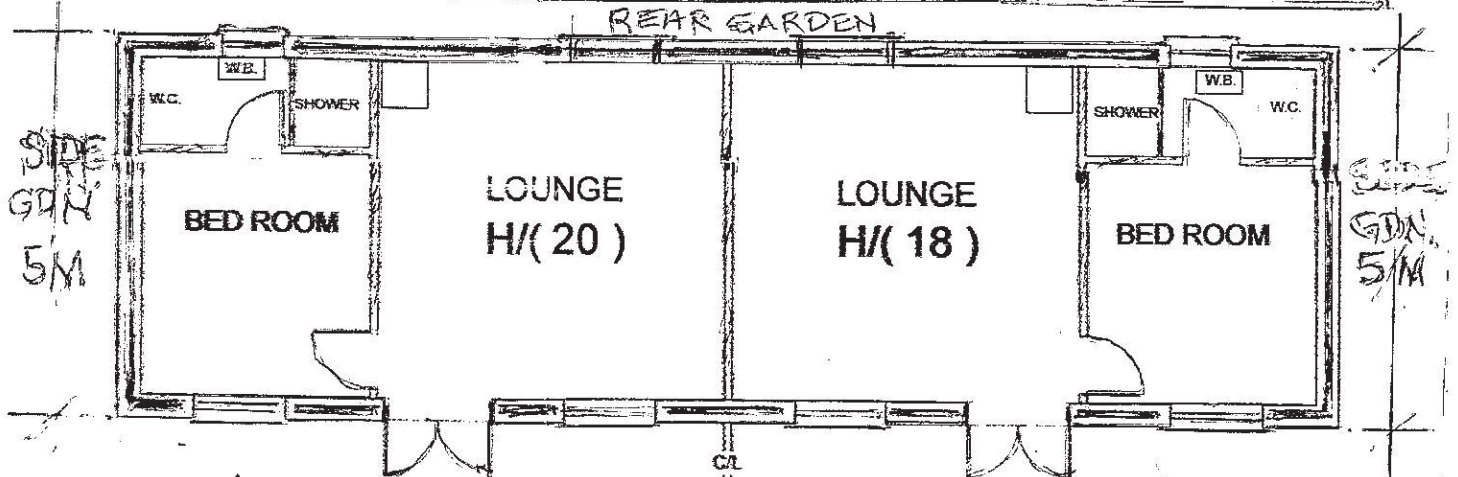
PLANNING PORTAL REF/ #-  
PP-

COUNCIL REF/ #-

(S-230)



(RETROSPECTIVE) EXISTING FRONT ELEV.- OF/ (H/20), AND (H/18), SCALE:- (1;100).



(RETROSPECTIVE) EXISTING ANNEXES PLAN FOR AS  
- AN-OUTBUILDINGS AT REAR GARDENS, (1;100) -

0 5m 1m 2m 3m 4m 5m 6m 8m 10m 12m 14m 16m 18m 20m

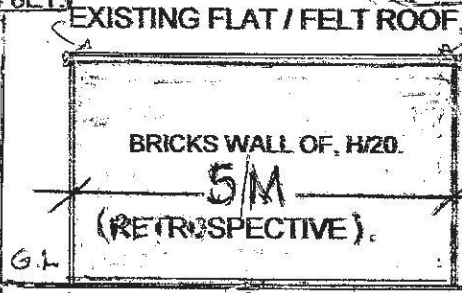
SCALE  
AS  
SHOWN

OWNER:- MR.  
SUTY BHARRICH  
OF H/18+20,  
WILMER CLOSE,  
HAYES, MIDDX:-  
LONDON, UB4 8ET.

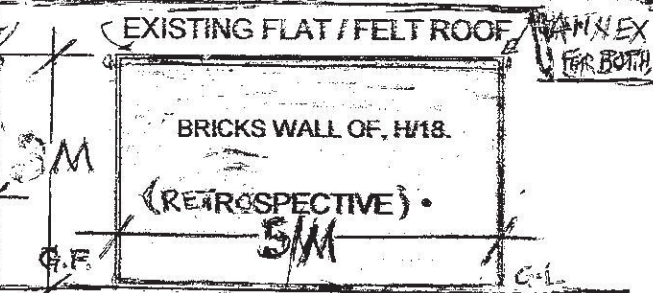
DWG#:- S/18+20/A-4  
DRAWN BY  
S. I. PANI  
REVISED DATE.

NOTE:- THESE OUTBUILDING OF BOTH  
H/18 & 20 ALREADY APPROVED BY CLD/UPD.  
PROPOSED WITH REF/ #. 67410/APP/2023/182  
BEEN DECISION BY DATE 29/07/23, WITH  
LOFT CONVERSION BUILT LATER, NOW  
THESE EXISTING GYM/GAME TO BE CHANGED INTO 2

**DRAW IT**  
Architectural Technician/Consultant  
MR. MONEY QADR  
Agent  
H/3.  
WDS. OTR  
Here de.  
Mobile: 07949 035 715  
Email: draw\_it@hotmail.com



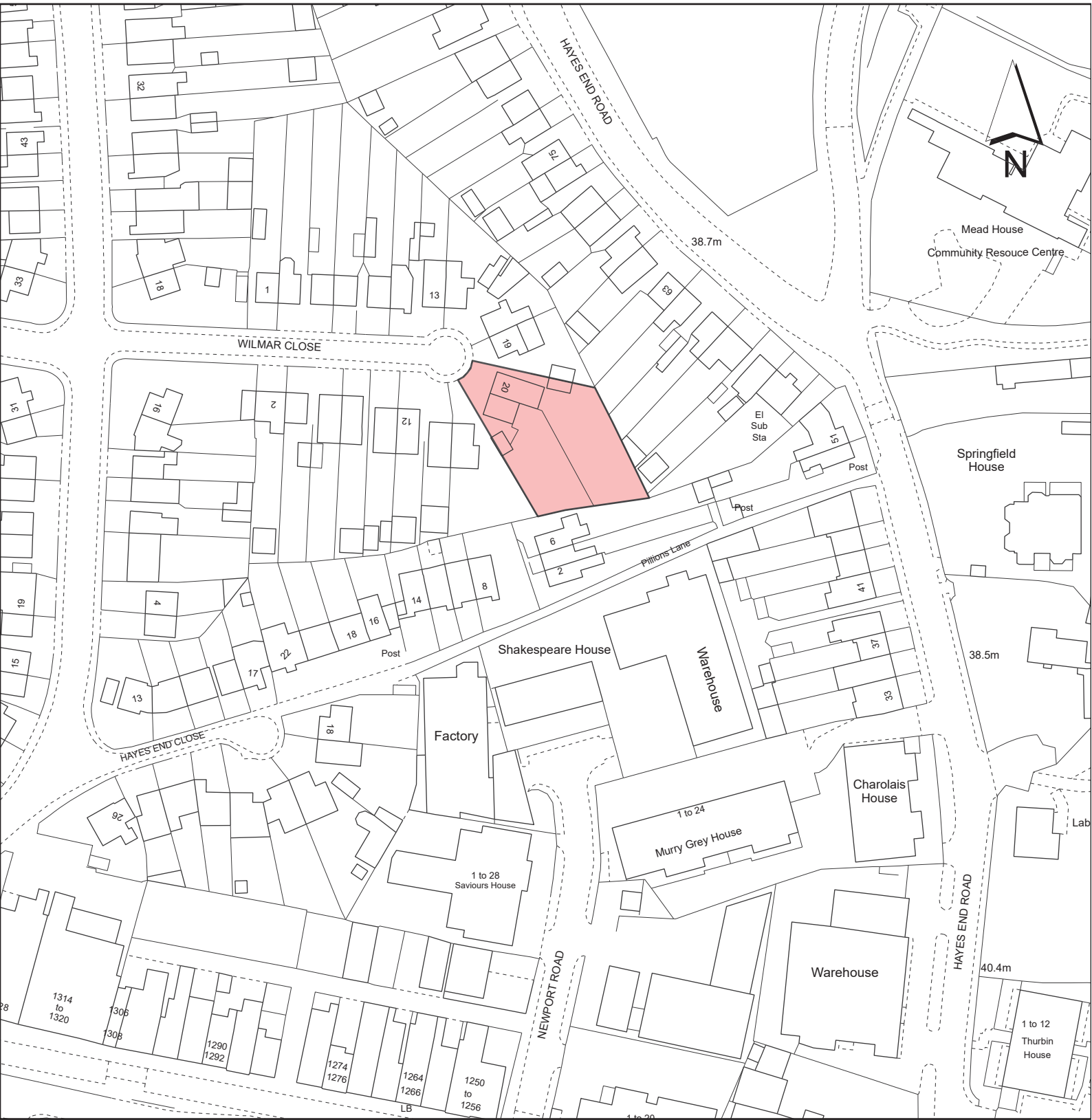
EXISTING SIDE ELEV.-  
OF, H/20, (1;100).





EXISTING SIDE ELEV.-  
OF, H/18, (1;100).



(RETROSPECTIVE) EXISTING REAR ELEV.- OF/ (H/20), AND (H/18), SCALE:- (1;100).



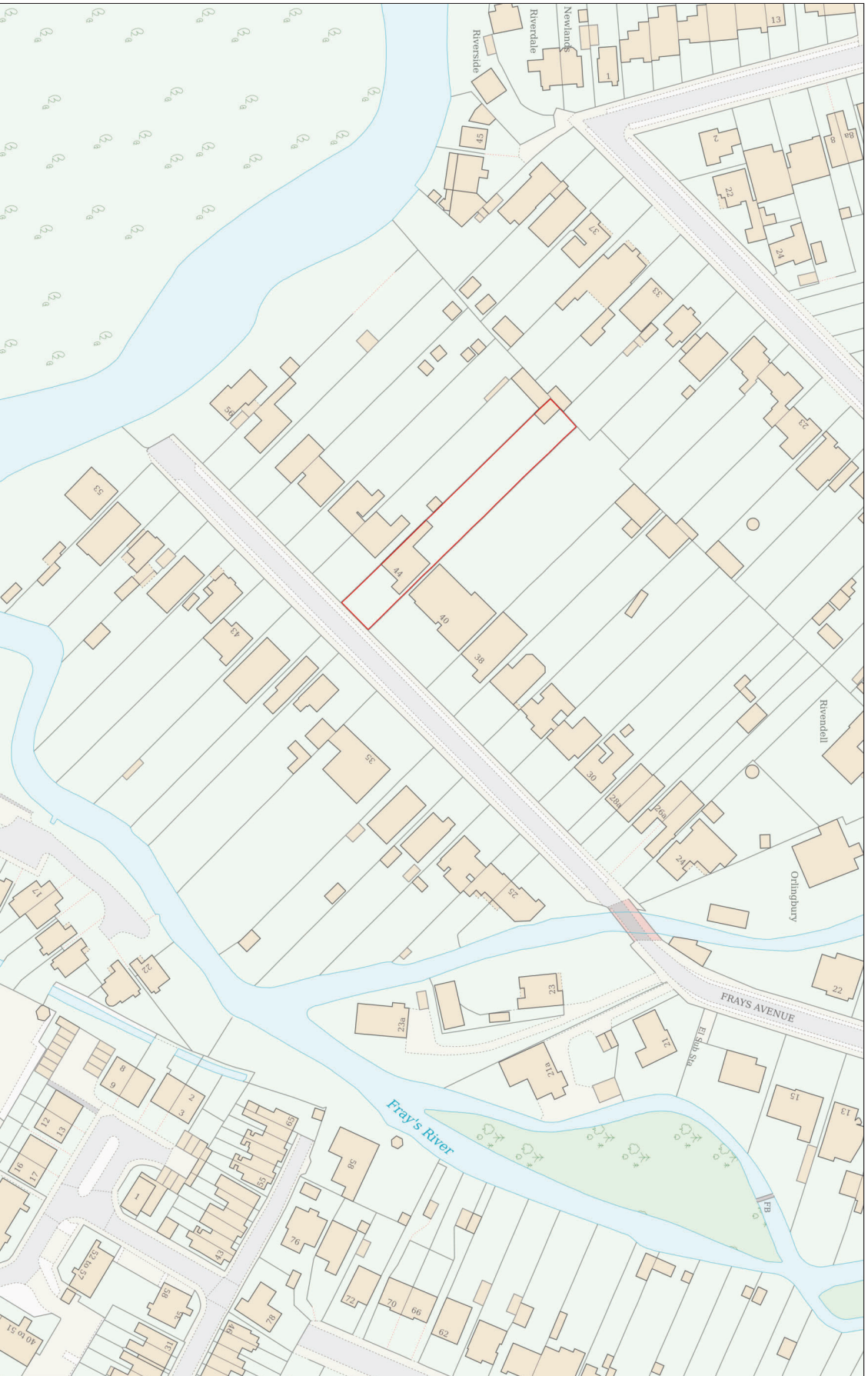
<b>KEY :</b>  Site Boundary	<b>ADDRESS :</b> 18 & 20 Wilmar Close		<b>LONDON BOROUGH OF HILLINGDON</b>  <b>RESIDENTS SERVICES</b> <b>PLANNING SECTION</b>
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	<b>PLANNING COMMITTEE :</b>	<b>DATE :</b> 09/04/2025	

**Report of the Head of Development Management and Building Control**

**Address:** 44 FRAYS AVENUE WEST DRAYTON  
**Development:** Demolition and reconstruction of new build family home.  
**LBH Ref Nos:** 35220/APP/2024/3046

Date Produced: 16-Nov-2024

Scale: 1:1250 @A3

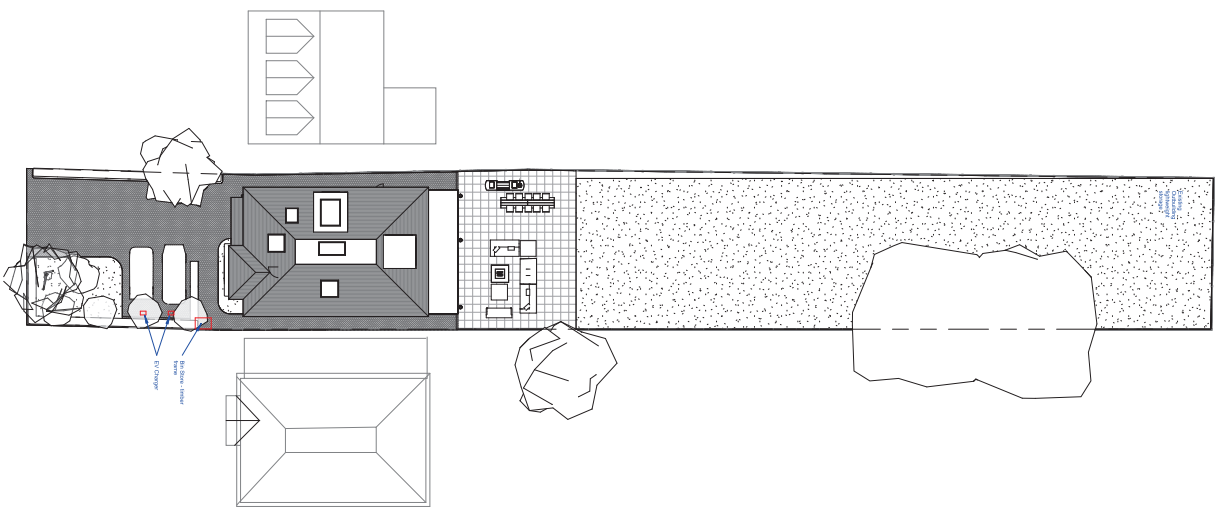


Planning Portal Reference: PP-13569715v1

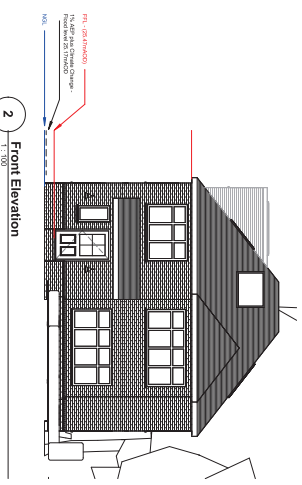




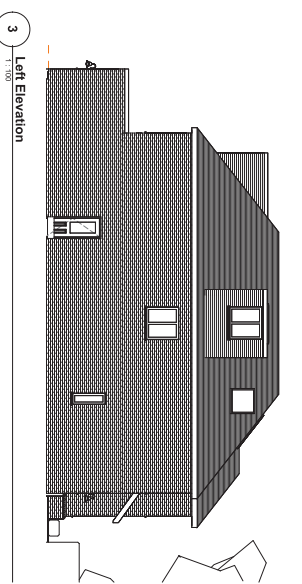




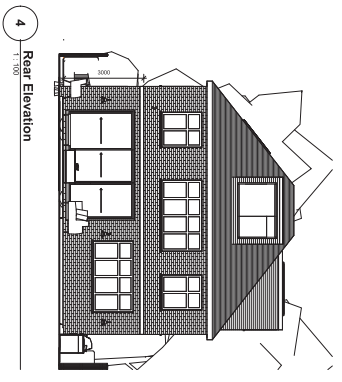
1 Site Plan  
1/800



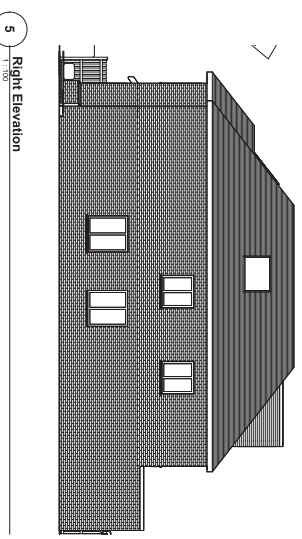
2 Front Elevation  
1/100



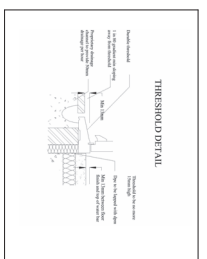
3 Left Elevation  
1/100



4 Rear Elevation  
1/100



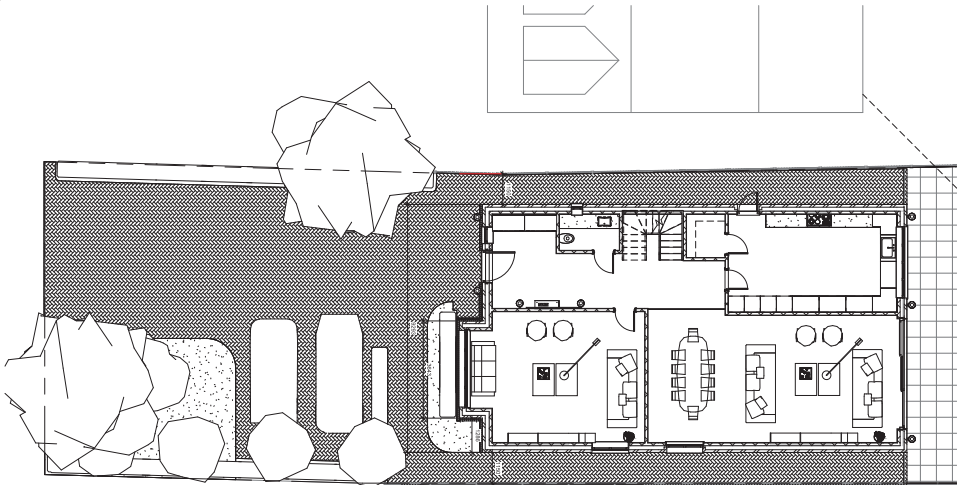
5 Right Elevation  
1/100



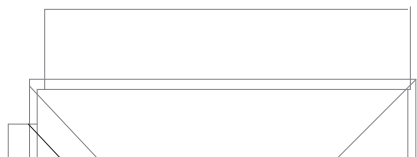
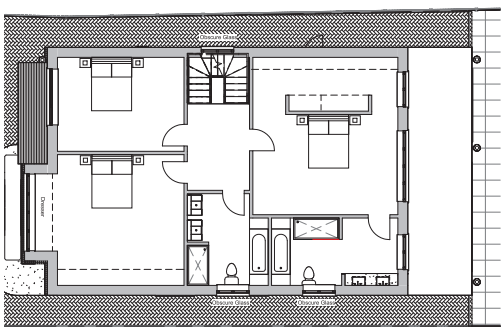
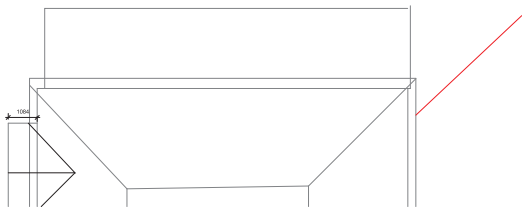
Design | Project Management | Build  
[www.oriengineers.com](http://www.oriengineers.com)  
[www.oriengineers.com](http://www.oriengineers.com)

MAHRT	
44 Frays Avenue, West Dayton UB7 7AG	
Proposed	A102
21/09/2025 10:43:13 AM	
Scale (mm - A1)	
1:50	1
1:100	2
1:200	3
	4
	5
	20%

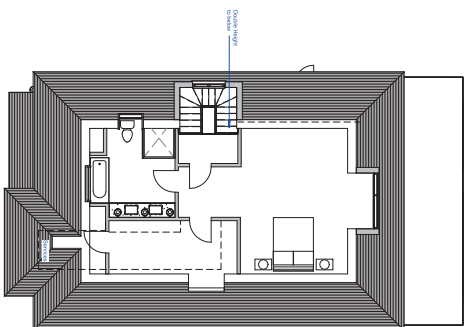
Notes:  
 1. All dimensions are to the face of the work unless otherwise stated.  
 2. All work shall be in accordance with the current Building Regulations.  
 3. All work shall be in accordance with the current Approved Documents.  
 4. All work shall be in accordance with the current BS Standards.  
 5. All work shall be in accordance with the current BS Standards.  
 6. All work shall be in accordance with the current BS Standards.  
 7. All work shall be in accordance with the current BS Standards.  
 8. All work shall be in accordance with the current BS Standards.  
 9. All work shall be in accordance with the current BS Standards.  
 10. All work shall be in accordance with the current BS Standards.



1 Ground Floor  
1" = 1'-0"



2 First Floor  
1" = 1'-0"



3 Second Floor  
1" = 1'-0"



4 Front Elevation



6 Rear Perspective



Design | Project Management | Build  
[info@drigin.com](mailto:info@drigin.com)  
[www.drigin.com](http://www.drigin.com)

MAHRT

44 Frays Avenue, West Dayton UB7 7AG

Proposed

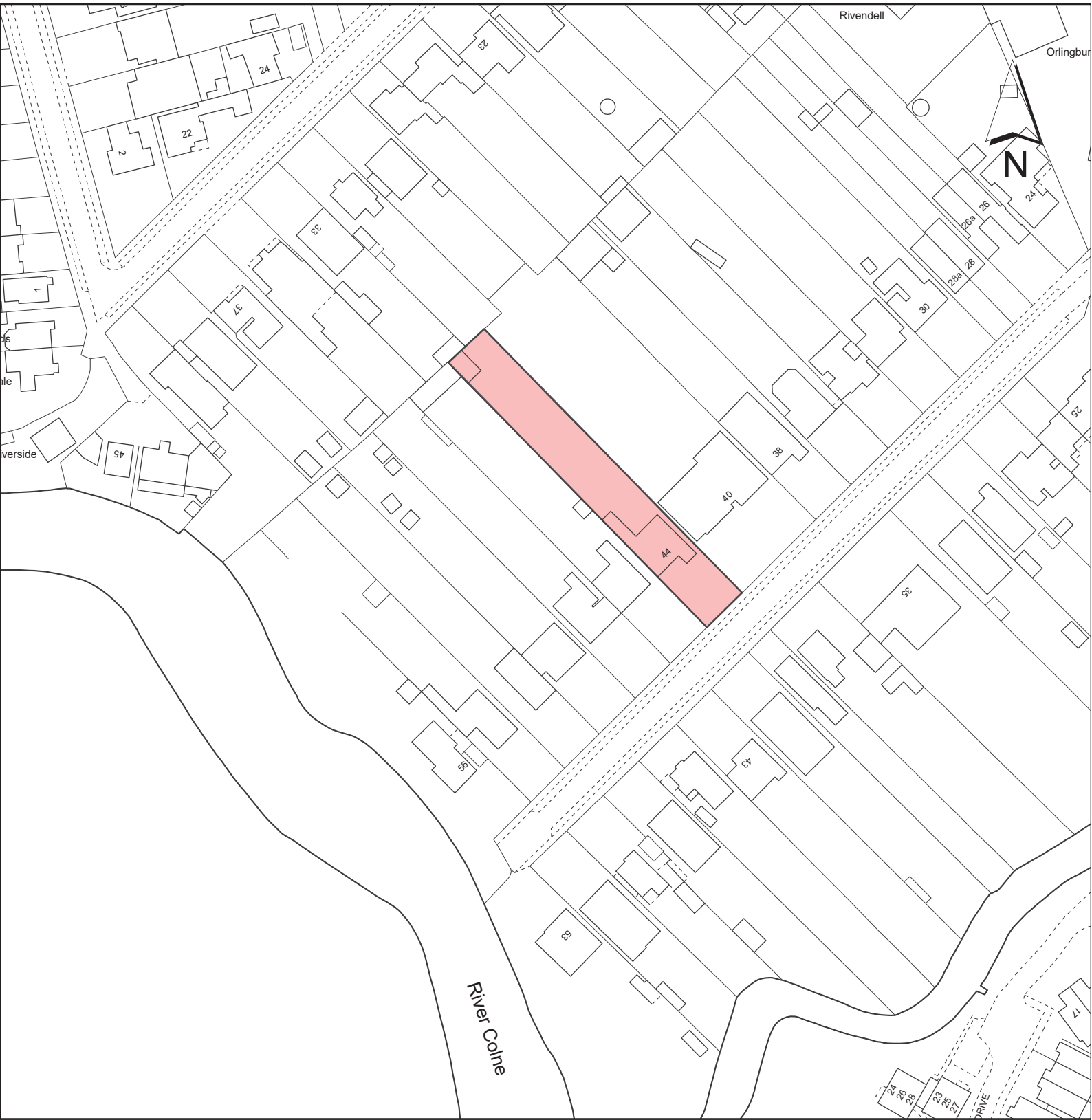
21/09/2025 10:43:14 AM A103



Scale (mm : m)

1:50	1:100	1:200	1:500	1:1000
10	20	40	100	200

Notes:  
 1. All dimensions are in millimeters unless otherwise stated.  
 2. All dimensions are to the center of the element unless otherwise stated.  
 3. All dimensions are to the finished surface unless otherwise stated.  
 4. All dimensions are to the center of the element unless otherwise stated.  
 5. All dimensions are to the finished surface unless otherwise stated.





<b>KEY :</b>  Site Boundary	<b>ADDRESS :</b> 44 Frays Avenue		<b>LONDON BOROUGH OF HILLINGDON</b> <b>RESIDENTS SERVICES</b> <b>PLANNING SECTION</b>
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	<b>PLANNING COMMITTEE :</b>	<b>DATE :</b> 09/04/2025	

## **Report of the Head of Development Management and Building Control**

**Address:**

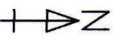
10 FRAYS AVENUE WEST DRAYTON

**Development:**

Erection of a single storey rear extension, amendments to side extension roof, extension to existing loft conversion including extension of roof to the rear and formation of crown roof, enlargement of rear dormer window, and installation of 2no. side facing roof lights, and addition of render and insulation to external walls (amended description)

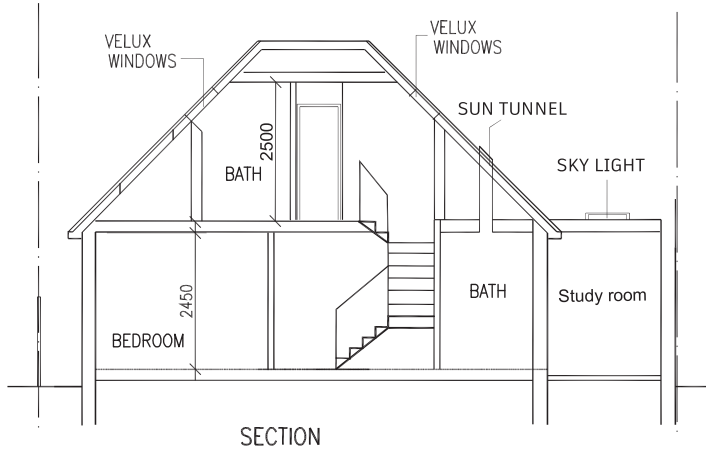
**LBH Ref Nos:**

5235/APP/2025/188

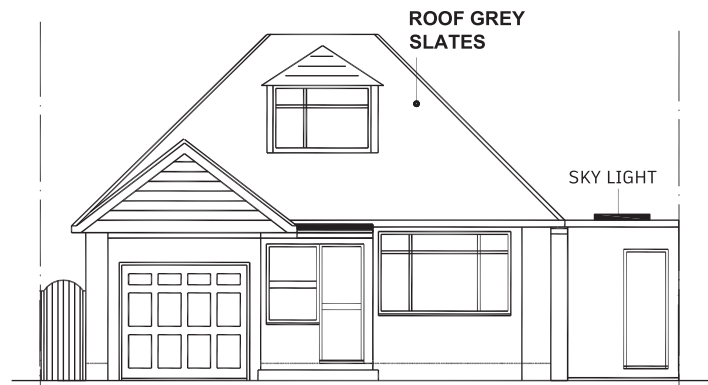


LOCATION PLAN  
 10 FRAYS AVENUE  
 WEST DRAYTON  
 MIDDLESEX UB7 7AF  
 SCALE 1:1250





SECTION



PROPOSED FRONT ELEVATION



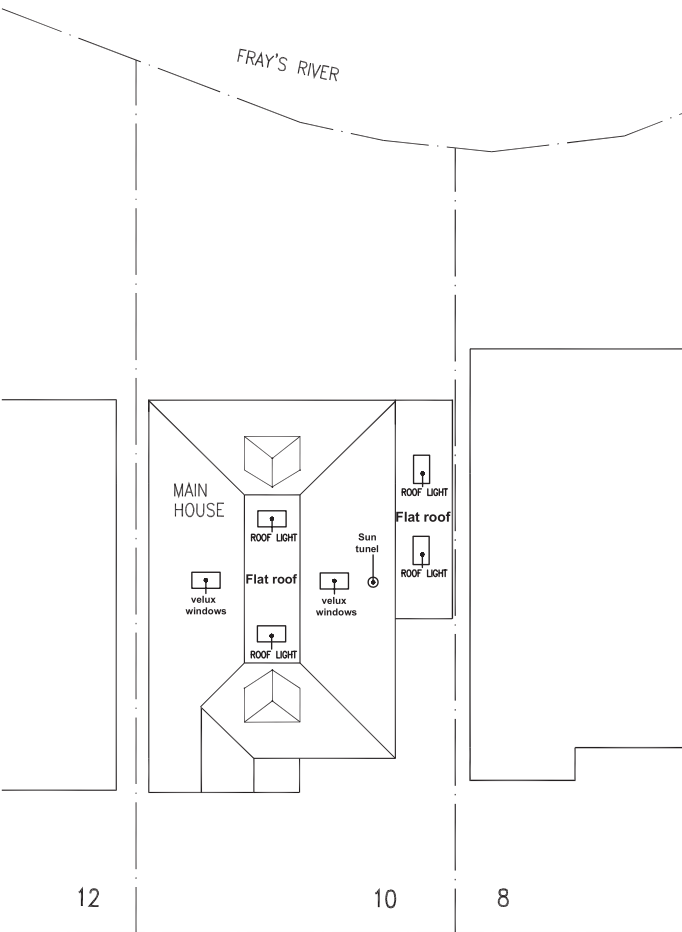
EXISTING FRONT ELEVATION



PROPOSED REAR ELEVATION

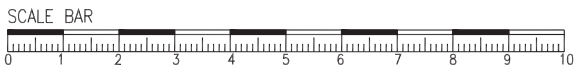


EXISTING REAR ELEVATION



SITE PLAN  
SCALE:1/200

FRAYS AVENUE



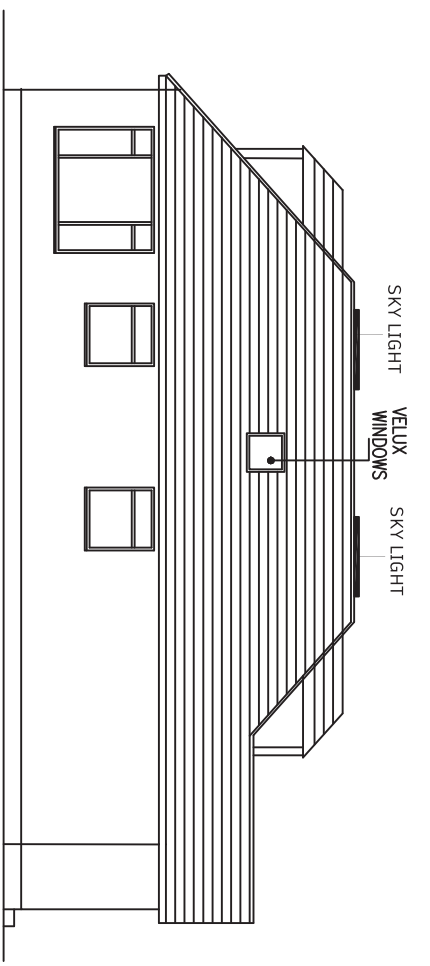
Project  
**PROPOSED PART REAR EXTENSION,  
 CREATING PITCHED ROOF WITH A FLAT TOP,  
 CREATE A HABITABLE LOFT SPACE,  
 10 FRAYS AVENUE, WEST DRAYTON, UB7 7LH**

Drawing  
**Front & Back Elevations,  
 Section & Site Plan**

Scale  
 1/100,200@A3

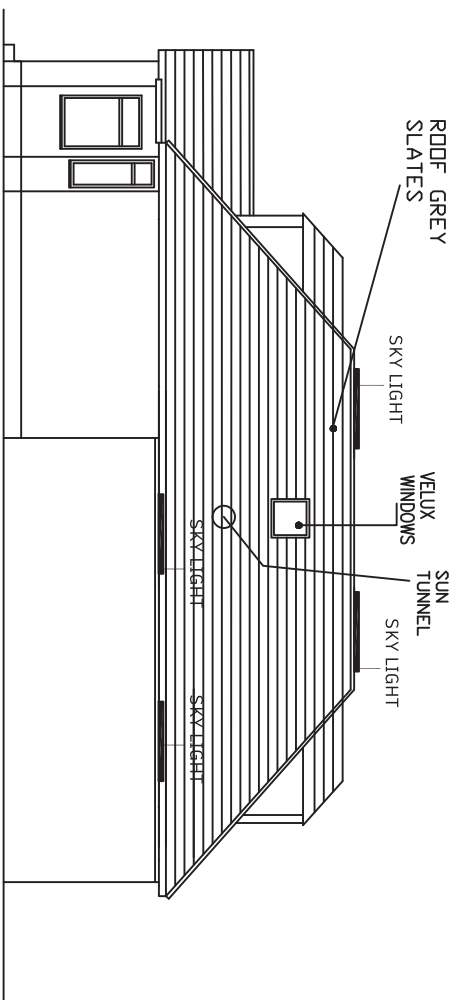
Date  
**January 2025**  
 Drawn

Drawing No.  
**001 / Rev D**

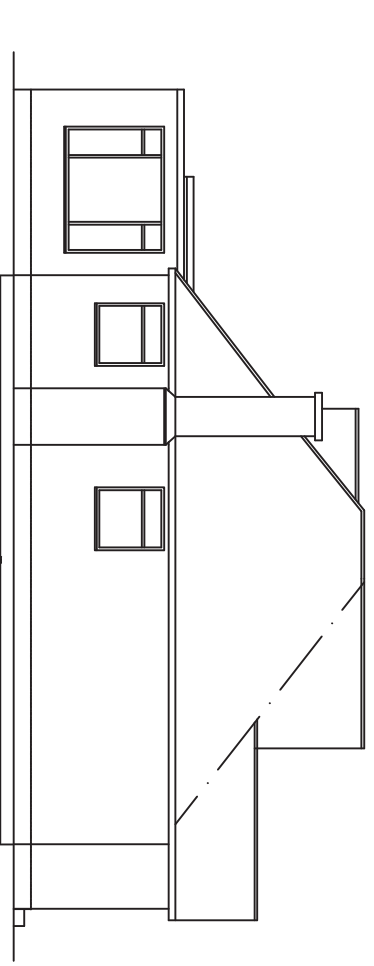


SIDE ELEVATION

PROPOSED

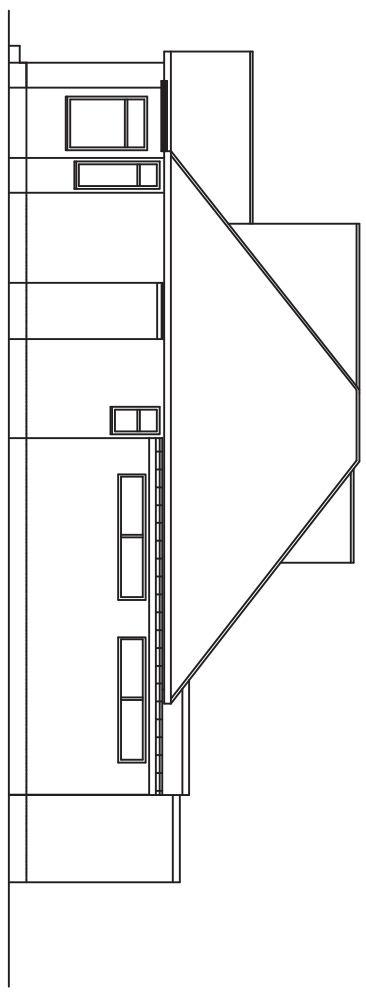


SIDE ELEVATION

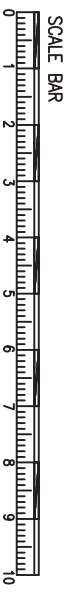


SIDE ELEVATION

EXISTING



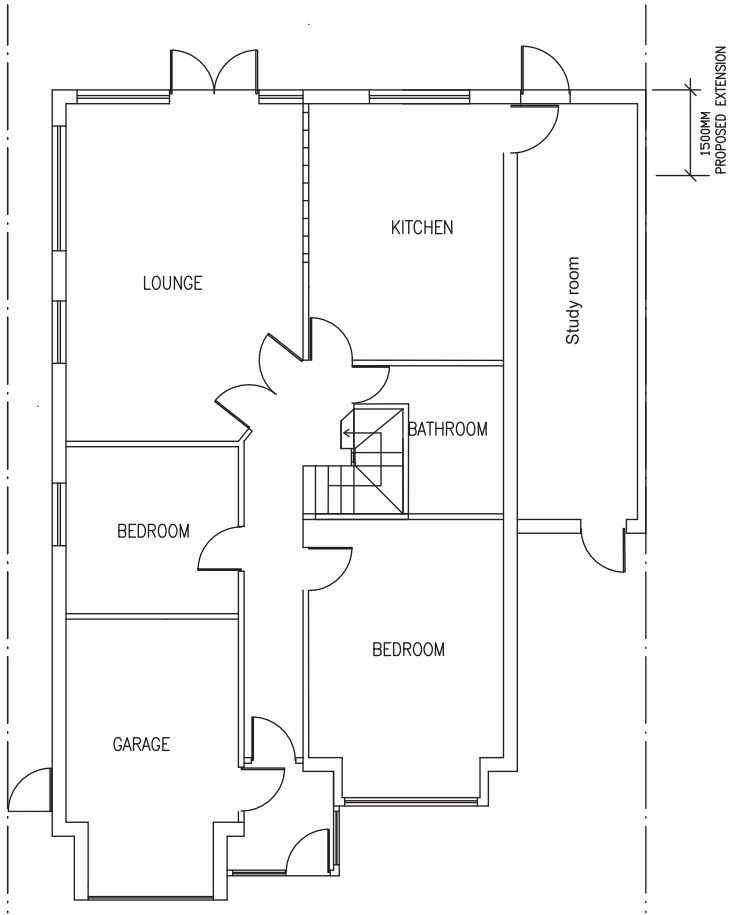
SIDE ELEVATION



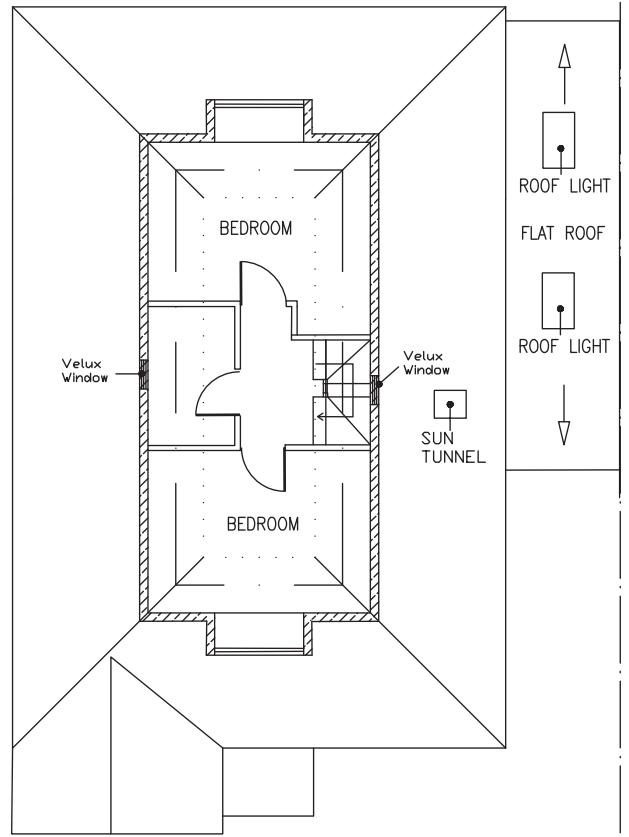
Project  
**PROPOSED PART REAR EXTENSION,  
 CREATING PITCHED ROOF WITH A FLAT TOP,  
 CREATE A HABITABLE LOFT SPACE,  
 10 FRAYS AVENUE, WEST DRAVTON, UB7 7LH**

Drawing  
**Side Elevations**  
 Scale  
 1/100@A3  
 Date  
 January 2025  
 Drawing No.  
 002 / Rev D

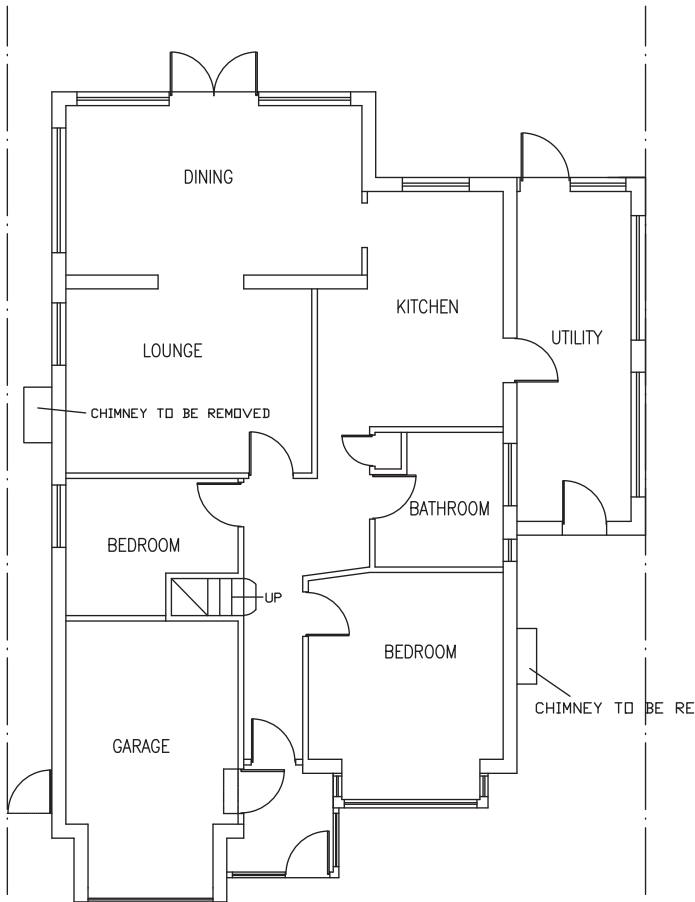
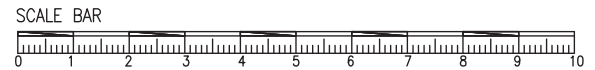




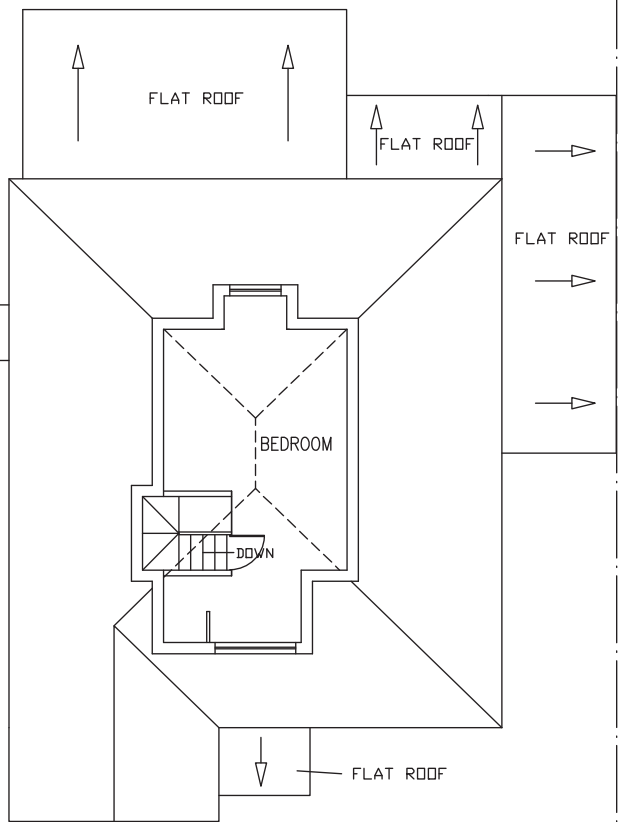
GROUND FLOOR PLAN PROPOSED



LOFT FLOOR PLAN



GROUND FLOOR PLAN EXISTING



LOFT FLOOR PLAN

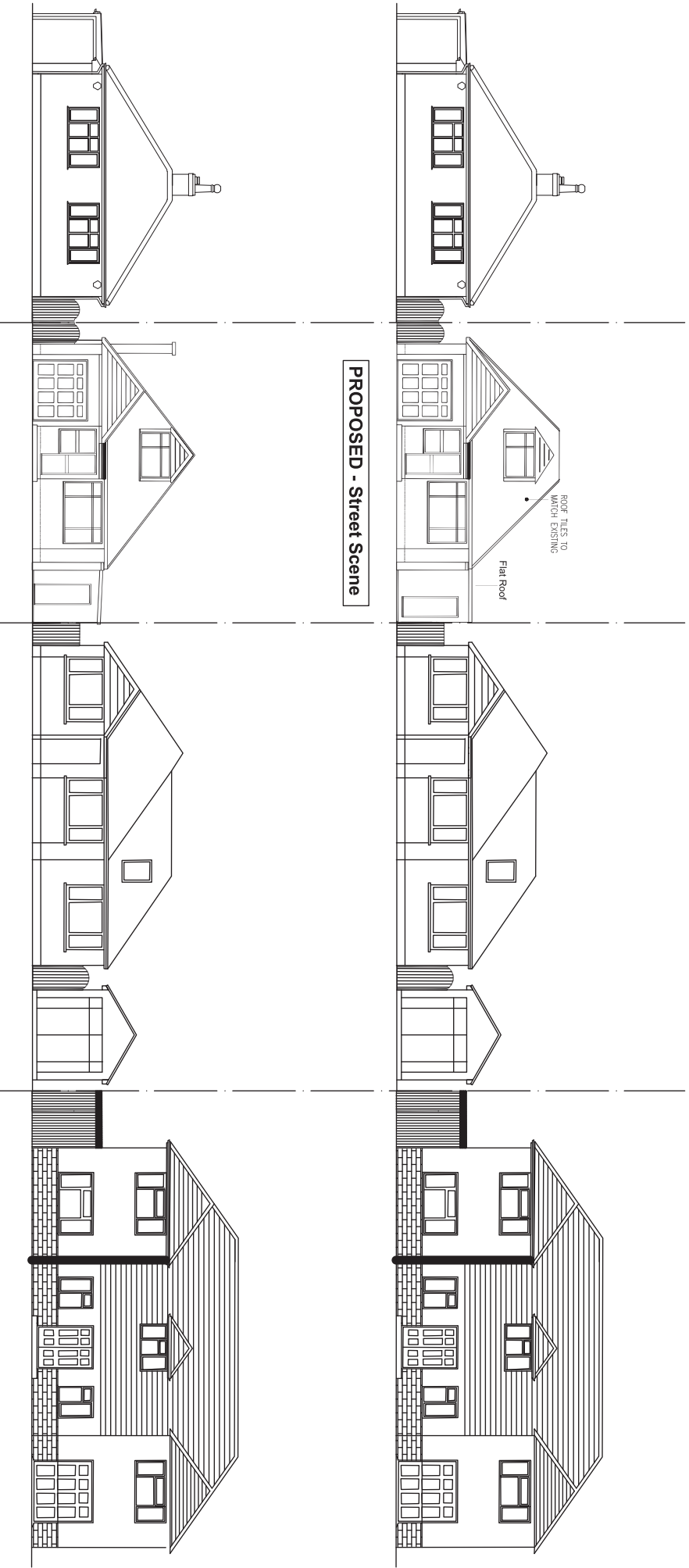
Project  
**PROPOSED PART REAR EXTENSION,  
 CREATING PITCHED ROOF WITH A FLAT TOP,  
 CREATE A HABITABLE LOFT SPACE,  
 10 FRAYS AVENUE, WEST DRAYTON, UB7 7LH**

Drawing  
**FLOOR PLANS**

Scale  
 1/100 @A3

Date  
 March 2025  
 Drawn

Drawing No.  
 003 / Rev C

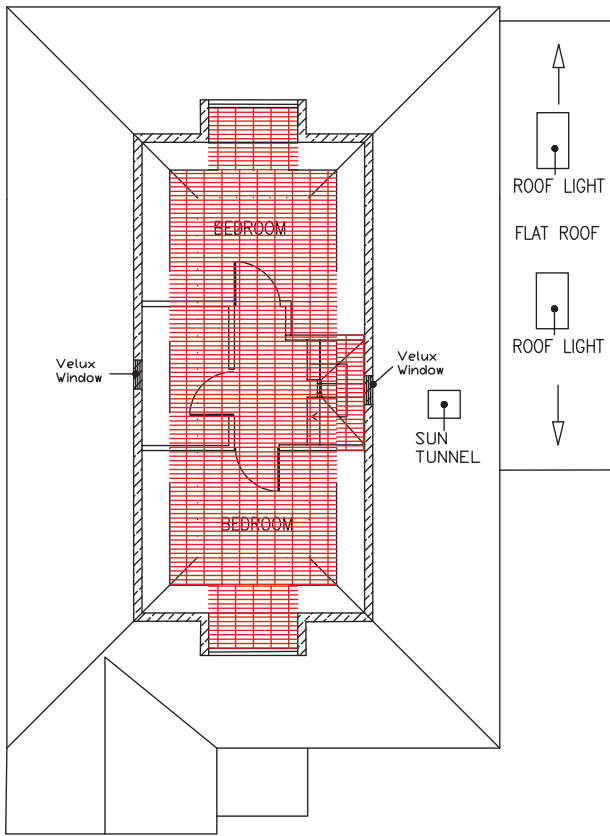


**PROPOSED - Street Scene**

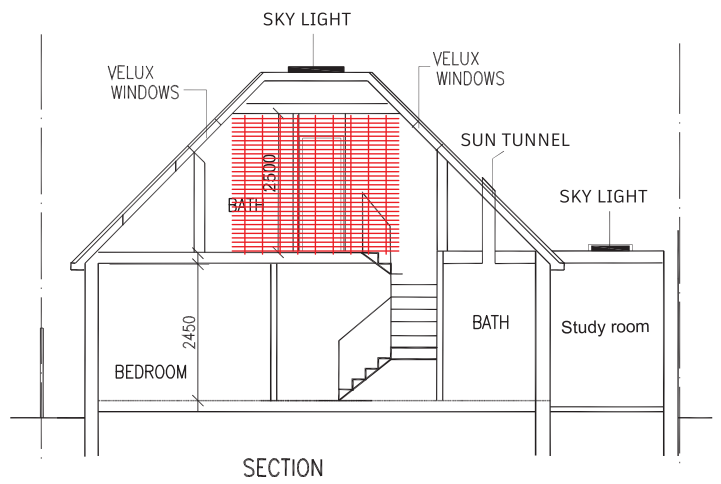
**EXISTING - Street Scene**



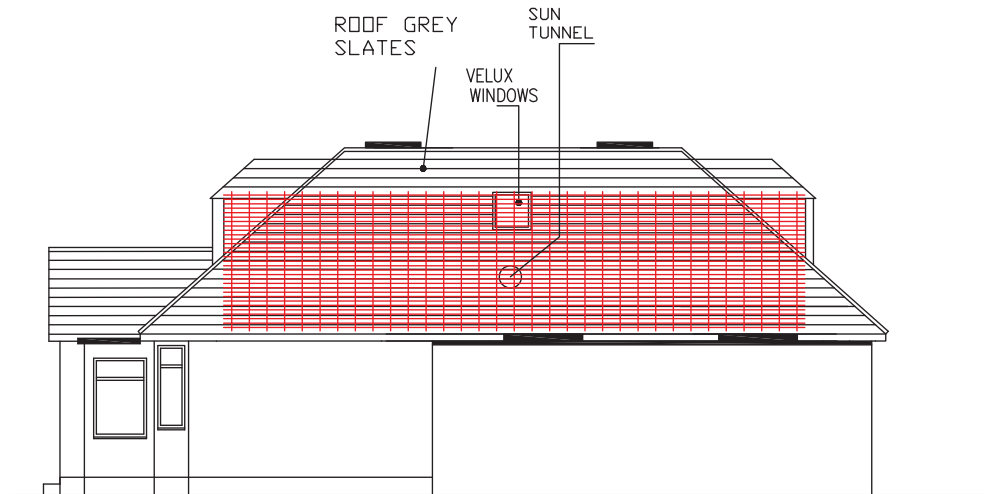
<b>Project</b>			
PROPOSED PART REAR EXTENSION, CREATING PITCHED ROOF WITH A FLAT TOP, CREATE A HABITABLE LOFT SPACE, 10 FRAVYS AVENUE, WEST DRAVTON, UB7 7LH			
<b>Drawing</b>		Street Scene (Existing & Proposed)	
Scale	1 / 100 @ A3	Date	March 2025
Drawing No.	004 / Rev A		



LOFT FLOOR PLAN



SECTION



SIDE ELEVATION

SCALE BAR



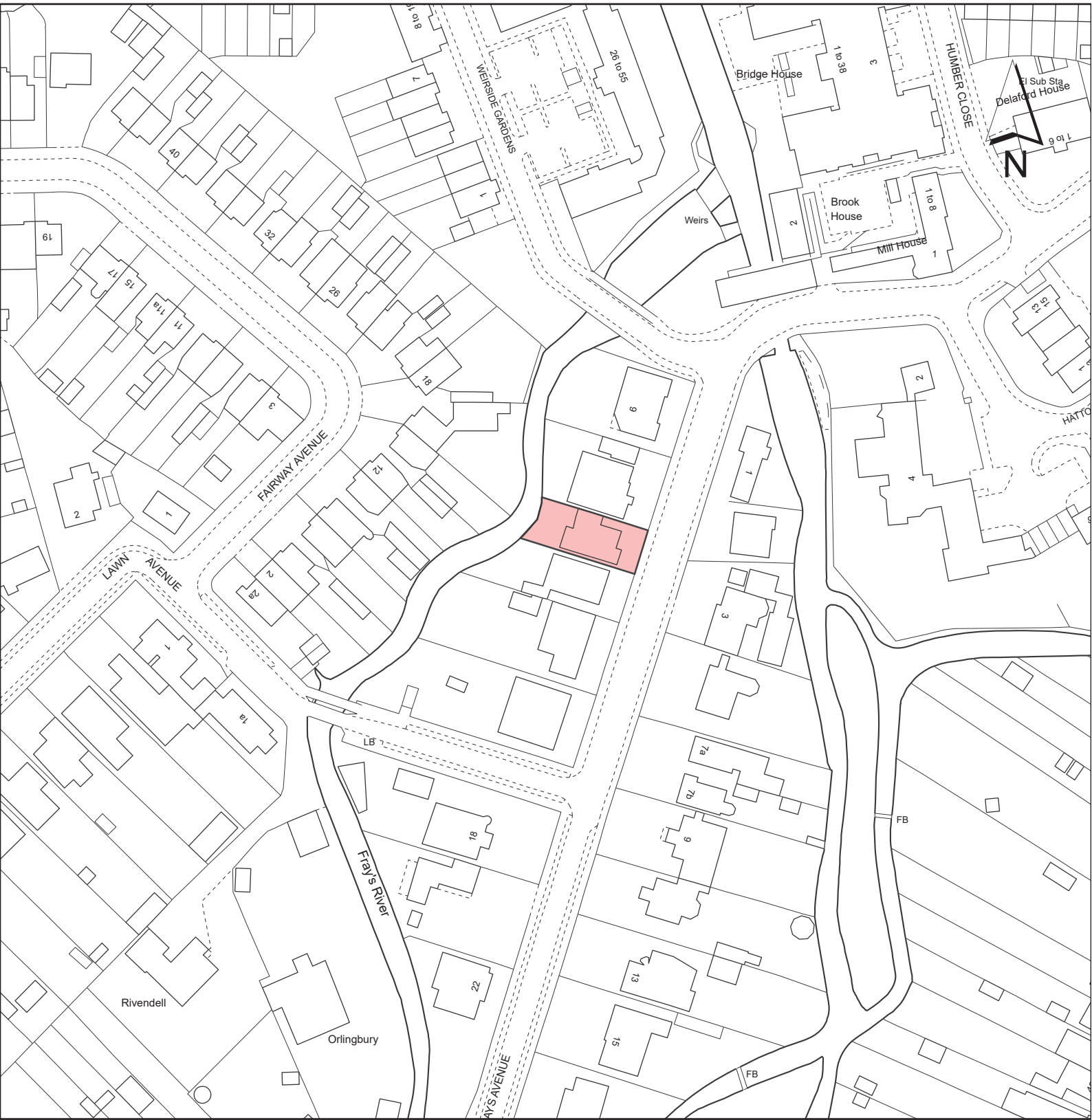
Project  
 PROPOSED PART REAR EXTENSION,  
 CREATING PITCHED ROOF WITH A FLAT TOP,  
 CREATE A HABITABLE LOFT SPACE,  
 10 FRAYS AVENUE, WEST DRAYTON, UB7 7LH



Drawing  
 Floor Plan & Section of loft area where floor to ceiling height is 2.5m

Scale  
 1/100 @A3

Date  
 March 2025  
 Drawn

Drawing No.  
 005 / Rev B



<p><b>KEY :</b></p> <p> Site Boundary</p>	<p><b>ADDRESS :</b></p> <p>10 Frays Avenue</p>		<p><b>LONDON BOROUGH OF HILLINGDON</b></p> <p><b>RESIDENTS SERVICES</b></p> <p><b>PLANNING SECTION</b></p>
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	<p><b>PLANNING COMMITTEE :</b></p>	<p><b>DATE :</b></p> <p>09/04/2025</p>	

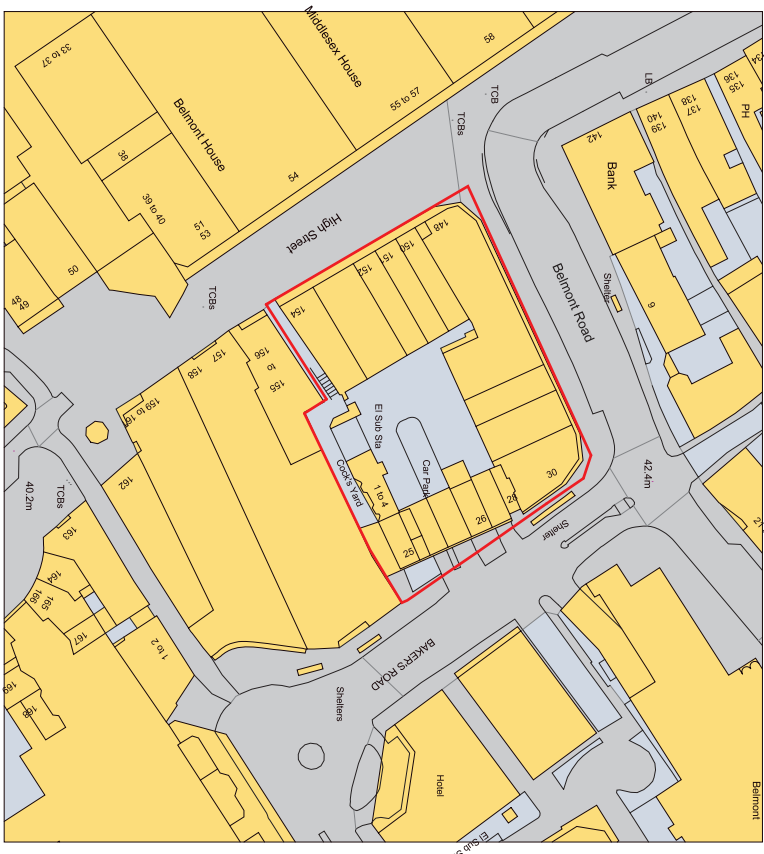
## **Report of the Head of Development Management and Building Control**

**Address:** 148 – 154 High Street, Uxbridge

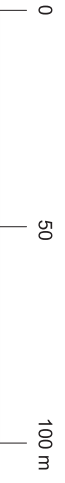
**Development:** Demolition of existing buildings and construction of a mixed-use development comprising a hotel (Use Class C1), residential co-living accommodation (Class Sui Generis), and commercial floorspace (Use Class E) and ancillary work, including public realm improvements, a new pocket park, basement parking, and associated infrastructure.

**LBH Ref Nos:** 78696/APP/2024/867





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Project  
2024.03.10 - Planning  
Rev: 2024 By: Description

148-154 Uxbridge High Street,  
UB8 3JY, Hillingdon

Drawing Title  
**SITE LOCATION PLAN**

Project Status  
**PLANNING**

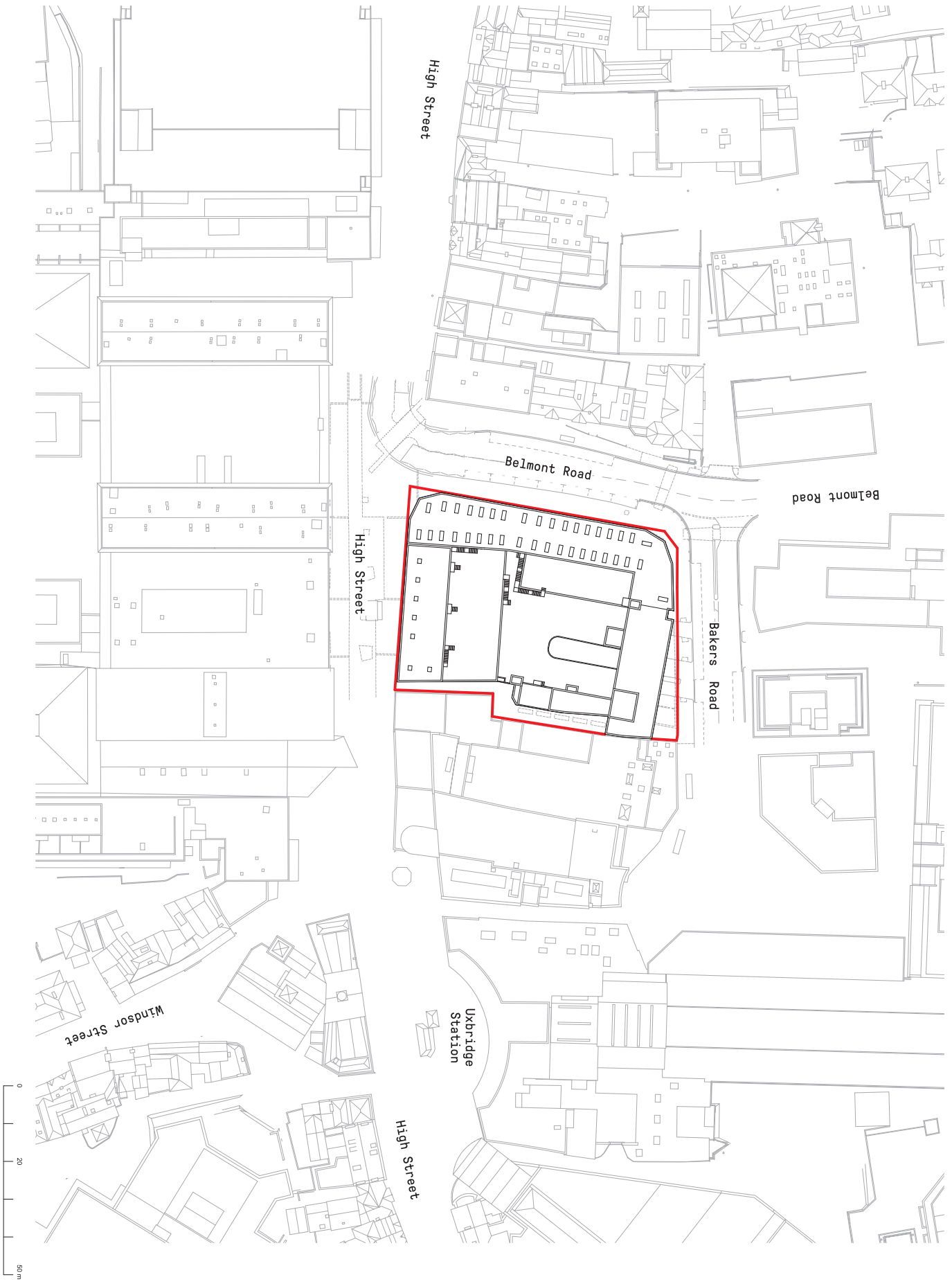
DNA | REAL ESTATE  
**MODA**

Client  
**DNA (UXBRIDGE) UXB LTD**  
Registered Office  
P23-110  
Scale: A3  
**1 : 1250**

Date  
**28/03/2024**  
Drawing Number: Revision  
**000100 -**

Drawing Number  
**CGL-Z0-ZZ-DR-A-000100**  
28A Easton St, Exmouth  
Market, London WC1X 0DS  
020 7539 1200  
www.cgllk.com





2024/25, 10 Rembrandt  
Rev. 28  
By Description

Plot: 148-154 Uxbridge High Street,  
UB8 3Y, Hillingdon

**EXISTING CONTEXT SITE PLAN**

Prepared For  
**PLANNING**

Client  
**DNA | REAL ESTATE**

**MODA**  
Client: DNA (UXBRIDGE) LTD  
Project Name: UX8

Project Number: P23-110  
Scale: 1 : 500

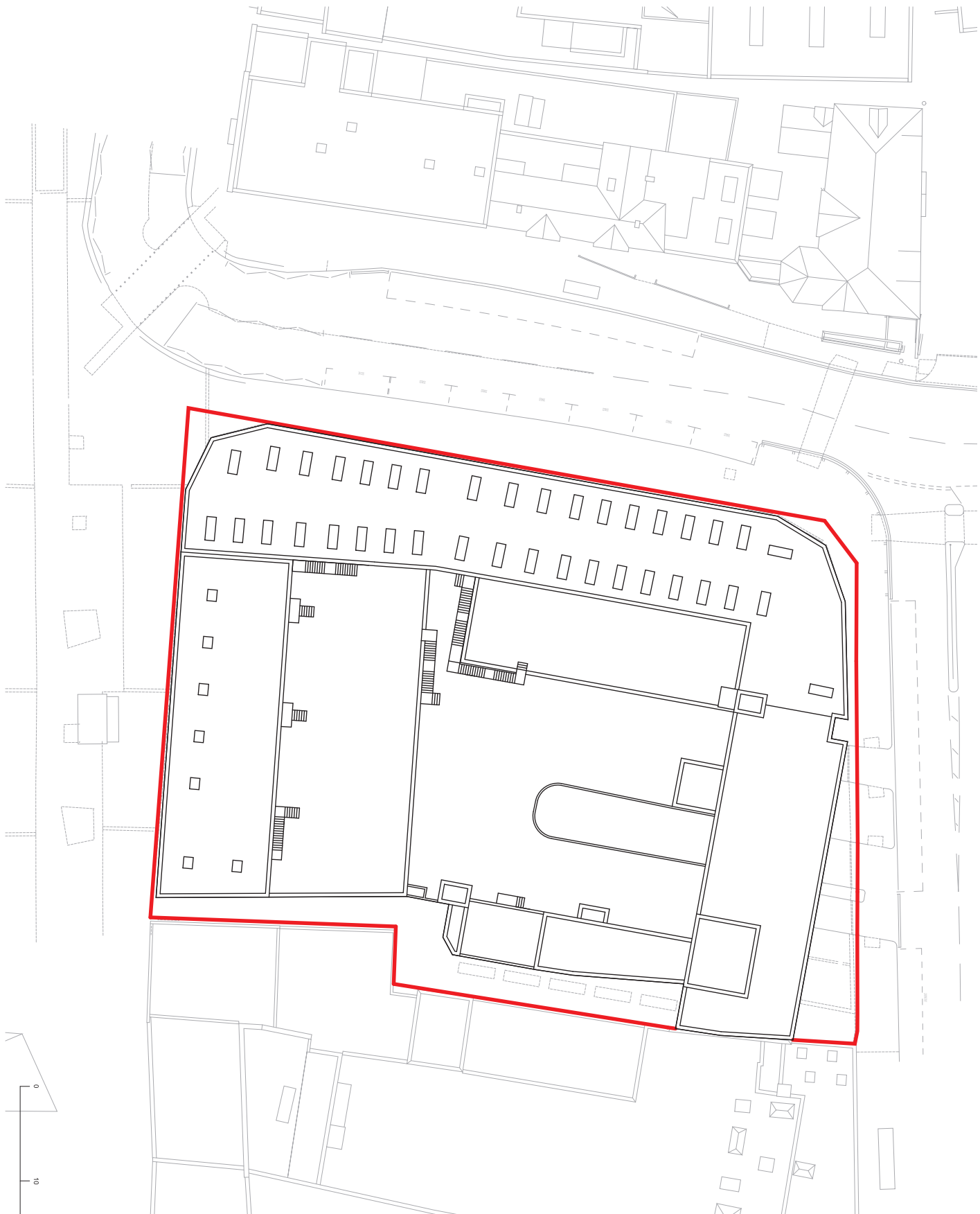
Date: 28/03/2024  
Drawn: DJ  
Checked: AD

Drawn: DJ  
Checked: AD  
Project Number: 000101

Project Name: UX8-05L-20-22-04-A-000101  
284 Foston St, Epsom, Surrey, Middlesex, London WXX 0DS  
020 7539 1200  
www.dnareal.com







2024/25, 10 Remond-Baron  
Rev. 28 By Description

Project  
148-154 Uxbridge High Street,  
UB8 3YJ, Hillingdon

Project Title  
EXISTING SITE PLAN

Project Status  
PLANNING

Client Name  
DNA | REAL ESTATE

**MODA**  
DNA (UXBRIDGE) LTD  
Company Number  
UX8

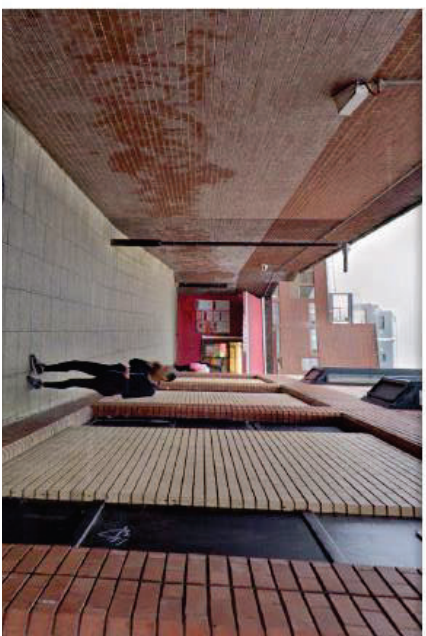
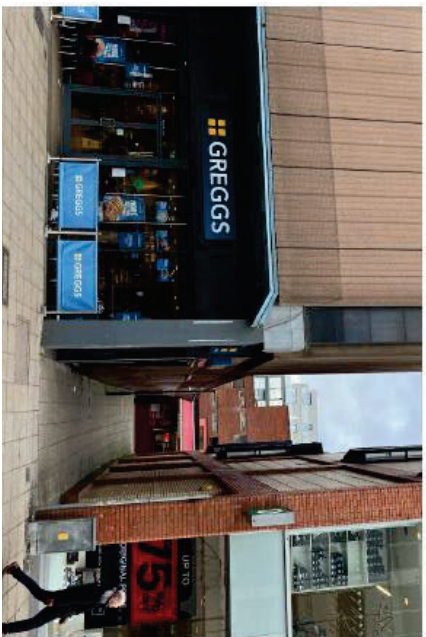
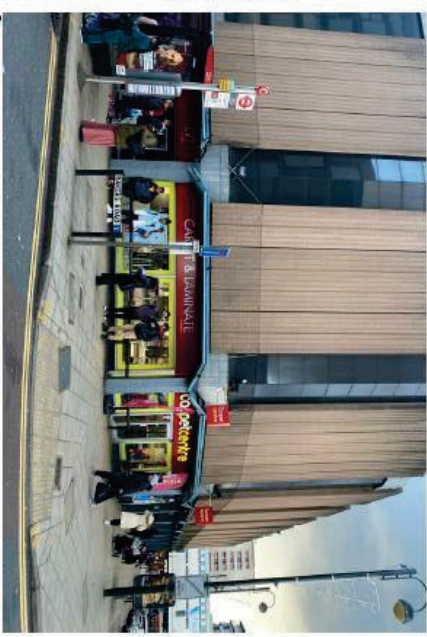
Project Number  
P23-110  
Scale P.A.I.  
1 : 200

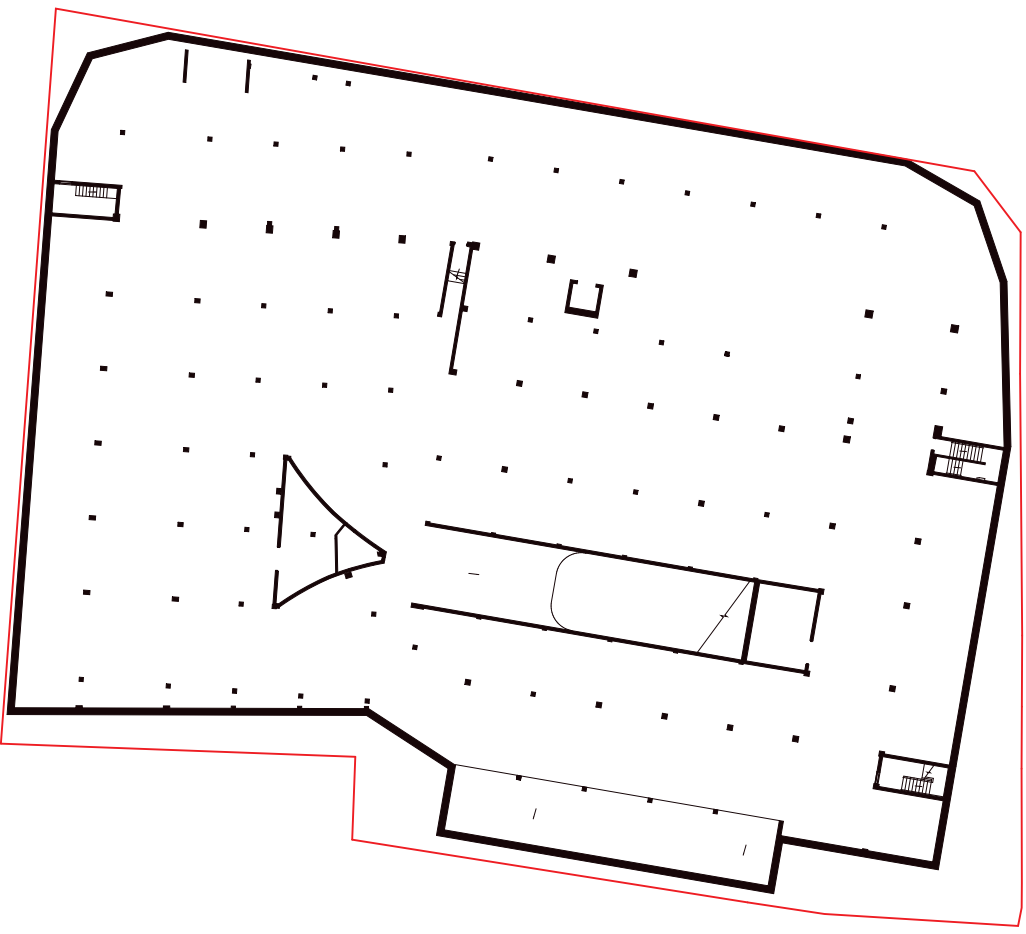
Date  
28/03/2024  
Drawing Number  
DU AD  
Revision  
-

Drawing Number  
000102

Project Address  
UX8-CGL-20-ZZ-DR-A-000102  
28A Foston St, Epsom  
Middlesex, London WXX 0DS  
020 7539 1200  
www.ggl.co.uk







2024.05.10  
Rev 20  
By Description

148-154 Uxbridge High Street,  
UB8 3YJ, Hillingdon

EXISTING BASEMENT PLAN  
Project Name  
PLANNING

DNA | REAL  
ESTATE

**MODA**

Client: DNA (UXBRIDGE) LTD  
Contract Number: UX8

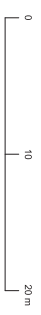
Project Number: P23-110  
Scale: 1 : 200

Date: 28/03/2024  
Drawing Number: DJ AD  
Revision: -

0101B1

Drawing Number: UX8-CG1-20-B1-DR-A-0101B1

28A Easton St, Epsom, Surrey, Middlesex, London WXX 0DS  
020 7539 1200  
www.gkl.com





2024.05.10  
Rev 20  
By: [Signature]

Project:  
148-154 Uxbridge High Street,  
UB8 3YJ, Hillingdon

Drawing Title:  
EXISTING GROUND FLOOR PLAN

Project Name:  
PLANNING

Client Logo:

DNA | REAL  
ESTATE

**MODA**

Client:  
DNA (UXBRIDGE) LTD  
Company Number: LXB8

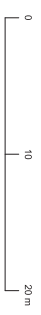
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P23-110  
Scale: 1 : 200

Date:  
28/03/2024  
Drawn By: DJ  
Checked By: AD

Drawing Number:  
010100  
Revision:

Revision Number:  
LXB-CGL-20-00-DR-A-010100

28A Easton St, Epsom, Surrey, Middlesex, London WXX 0DS  
020 7539 1200  
www.gkl.com





2024.05.10  
Rev: 28  
By: Description

Project:  
148-154 Uxbridge High Street,  
UB8 3YJ, Hillingdon

Drawn By:  
EXISTING FIRST FLOOR PLAN

Project Name:  
PLANNING

Client:  
DNA | REAL  
ESTATE

Client:  
MODA

Client:  
DNA (UXBRIDGE) LTD  
LX8

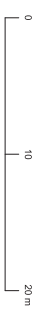
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P23-110

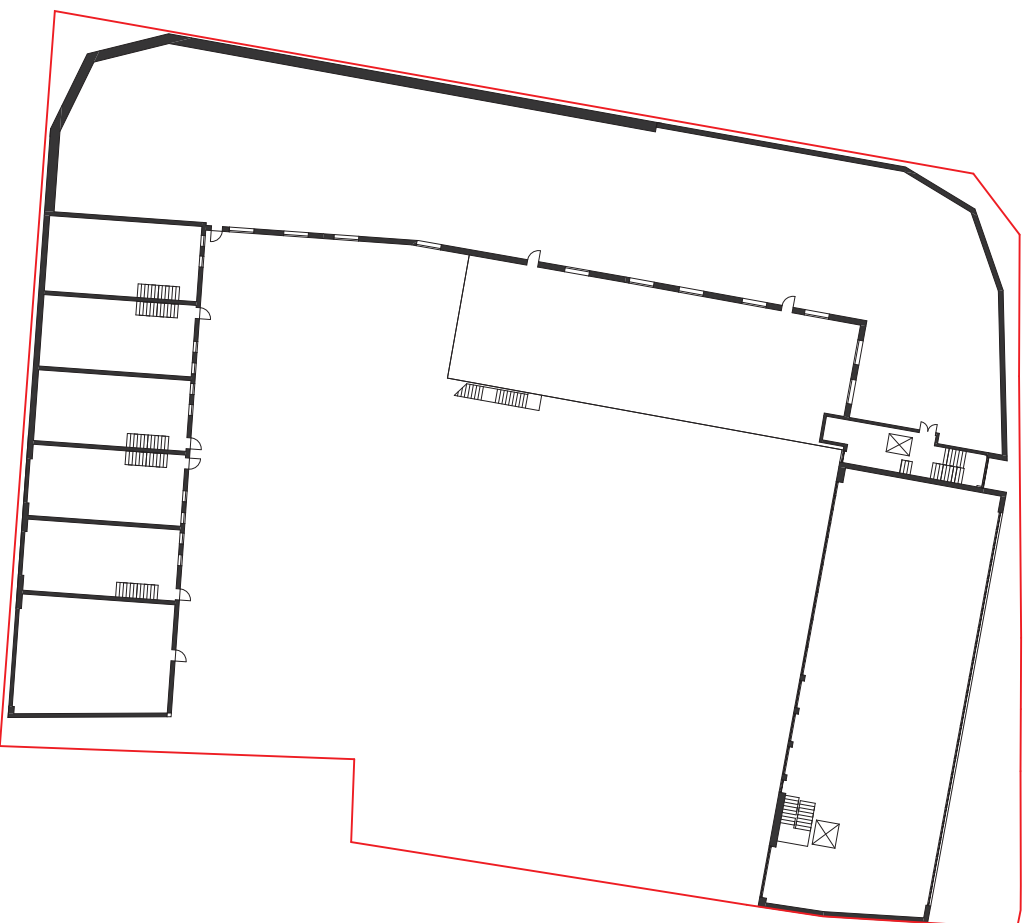
Date:  
28/03/2024

Drawing Number:  
010101

Drawing Number:  
LXB-CGL-20-01-DR-A-010101

28A Euston St, Epsom, Surrey, Middlesex, London WXX 0DS  
020 7539 1200  
www.dnareal.com





2024.05.10  
Rev 28  
By: Description

Project  
148-154 Uxbridge High Street,  
UB8 3YJ, Hillingdon

Drawing Title  
EXISTING SECOND FLOOR PLAN

Project Name  
PLANNING

Client Logo

DNA | REAL  
ESTATE

MODA  
Client: DNA (UXBRIDGE) LTD  
Contract Number: UX8

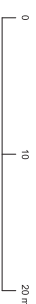
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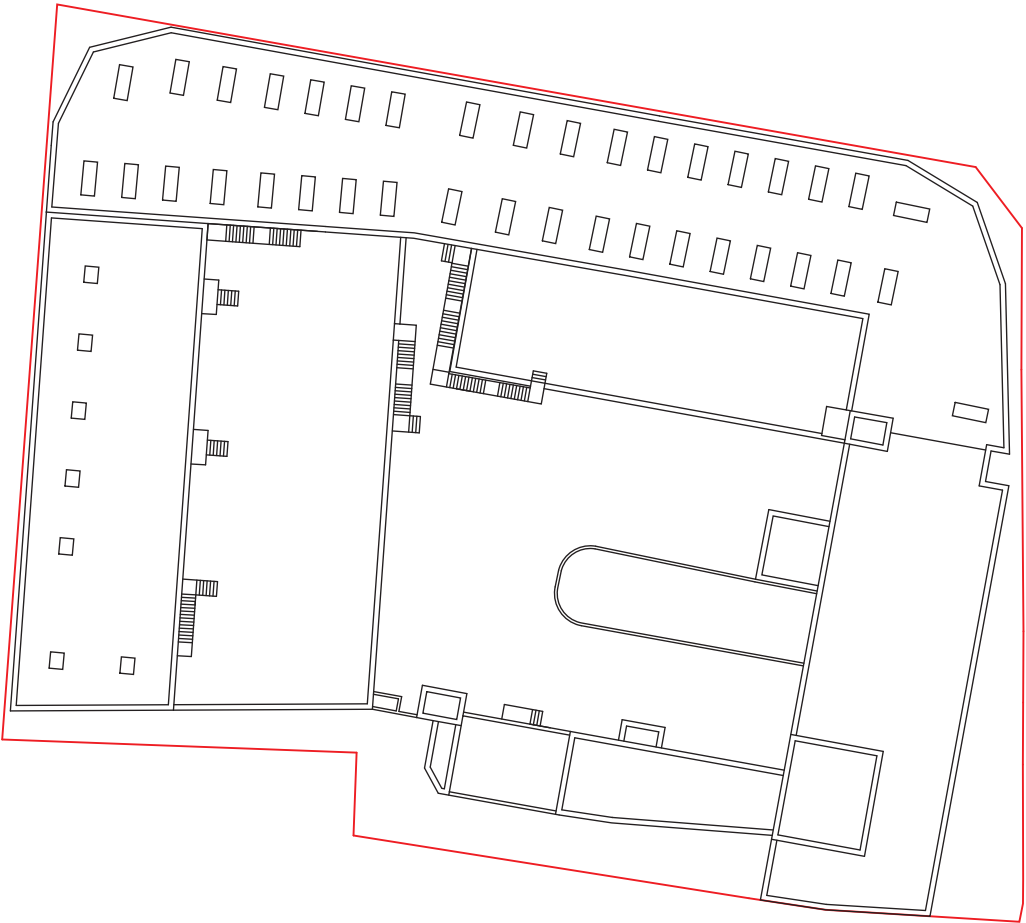
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Revision Number: 010102  
Revision: -

Drawing Number: UX8-CG1-20-02-DR-A-010102

28A Easton St, Epsom, Surrey, Middlesex, London WXX 0DS  
020 7539 1200  
www.dnareal.com





2024.05.10  
Rev 28  
By Description

Project  
148-154 Lixbridge High Street,  
UB8 3YJ, Hillingdon

Roof Type  
EXISTING ROOF PLAN

Project Name  
PLANNING

DNA | REAL  
ESTATE

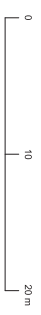
Client  
MODA  
DNA (UXBRIDGE) LTD

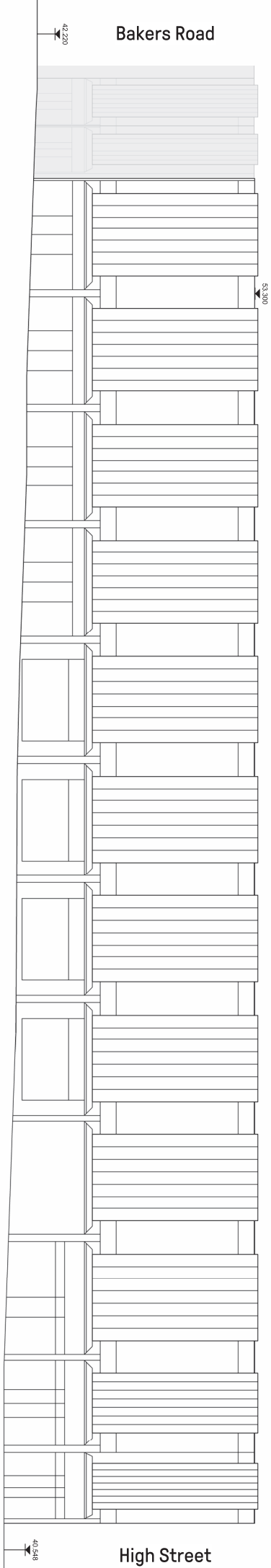
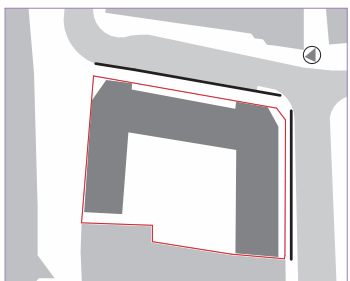
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P23-110

Date  
28/03/2024

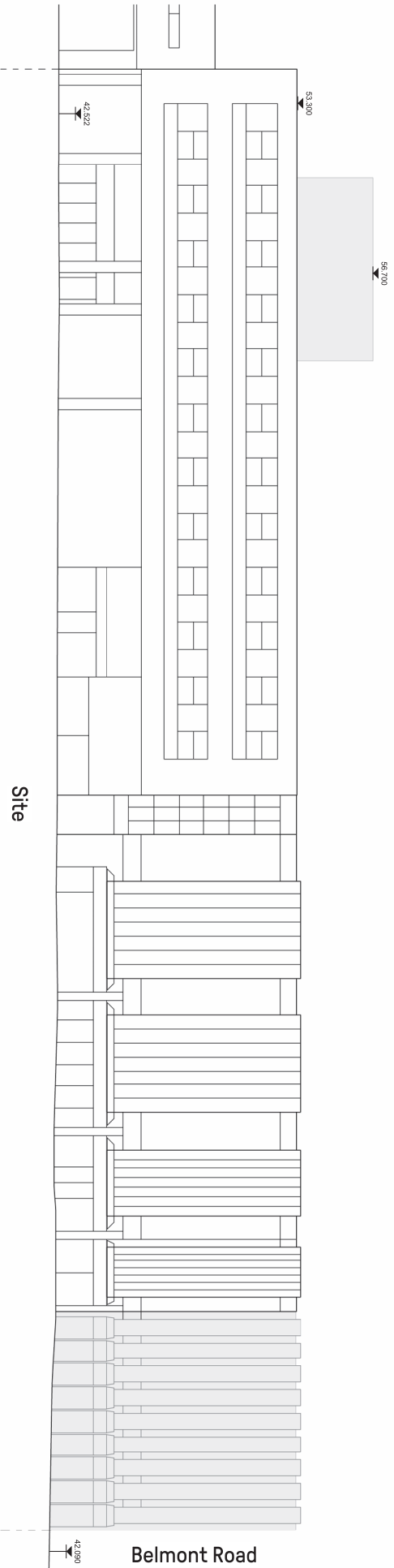
Roofing Method Number  
0101RF

Roofing Method  
LXB-CGL-Z0-RF-DR-A-0101RF





1 North Elevation - Existing  
1:100



2 East Elevation - Existing  
1:100

2024.05.10  
Rev: 28  
By: Description

Project:  
148-154 Uxbridge High Street,  
UB8 3YJ, Hillingdon

Project Type:  
EXISTING ELEVATIONS  
Project Status:  
PLANNING

Client Logo:

DNA | REAL  
ESTATE

**MODA**  
General User

Client:  
DNA (UXBRIDGE) LTD  
Project Number:  
P23-110

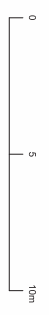
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Date:  
28/03/2024  
Drawing Name/Number:  
DU AD

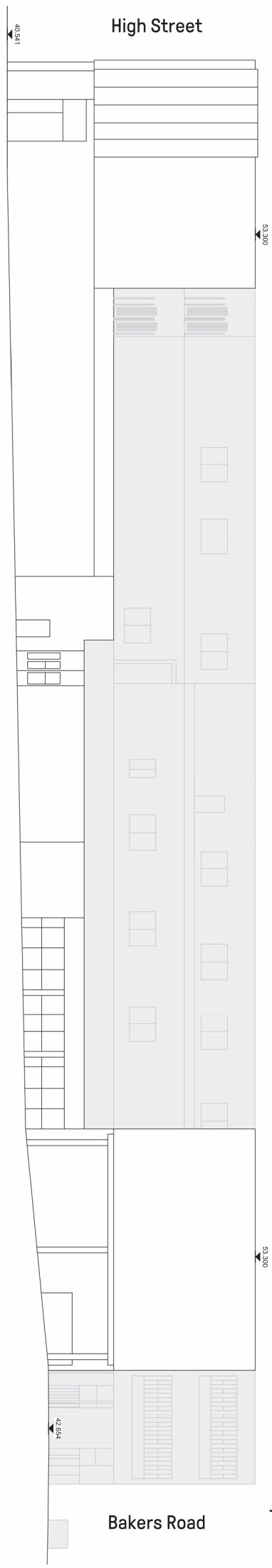
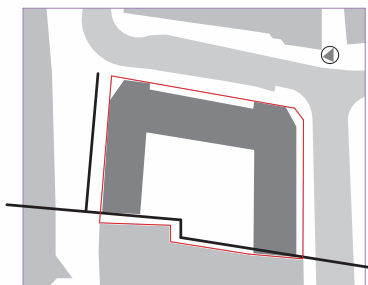
Revision:  
020100

Drawing Number:  
LXB-C9L-20-22-DR-A-020100

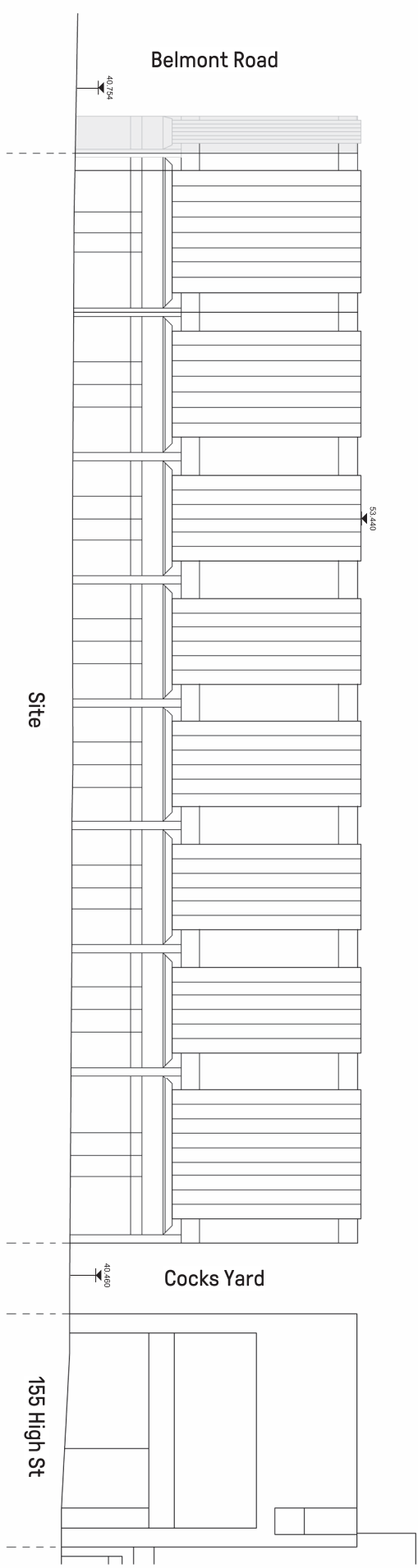
28A Foston St, Epsom, Surrey, London WXX 0DS  
020 7539 1200  
www.gjkl.com



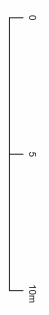




2 Cocks Yard Elevation - Existing  
1:100



1 West Elevation - Existing  
1:100



202405\_02\_Renovation  
Rev: 28  
By: Dan Brown

Project:  
148-154 Lixbridge High Street,  
UB8 3YJ, Hillingdon

Existing  
EXISTING ELEVATIONS

Proprietors

Client/Agent

DNA | REAL  
ESTATE

**MODA**  
CONSTRUCTION

Client: DNA (UXBRIDGE) LTD  
Company Number: UX8

Project Number: P23-110  
Scale: A1

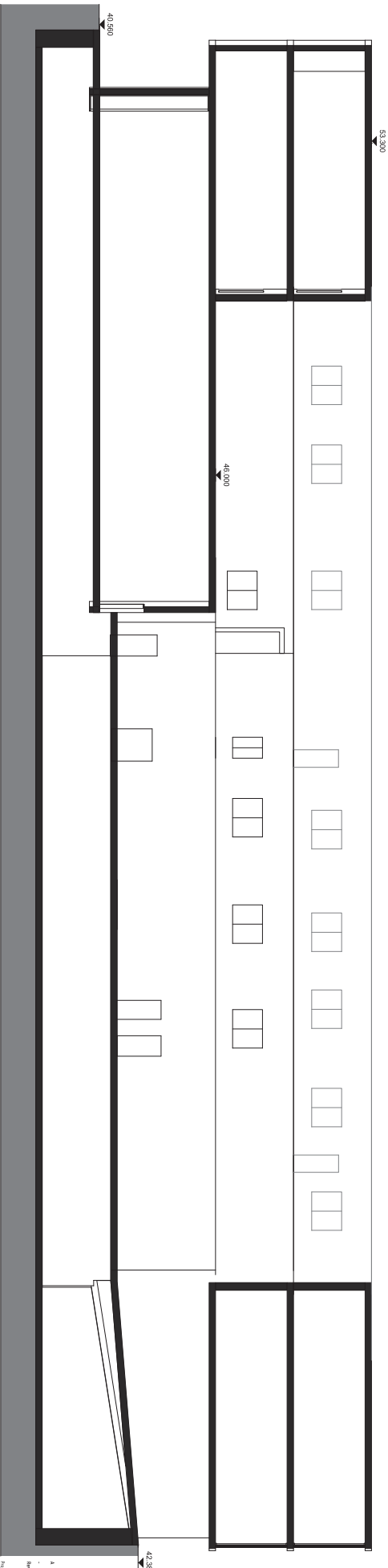
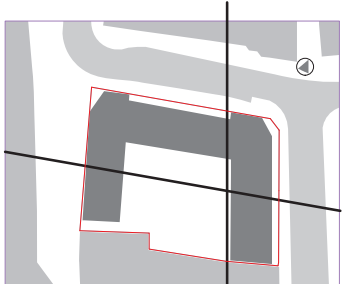
Date: 28/03/2024  
Drawing Number: DU AD  
Scale: 1:100

Drawing Number: 020101  
Revision: -

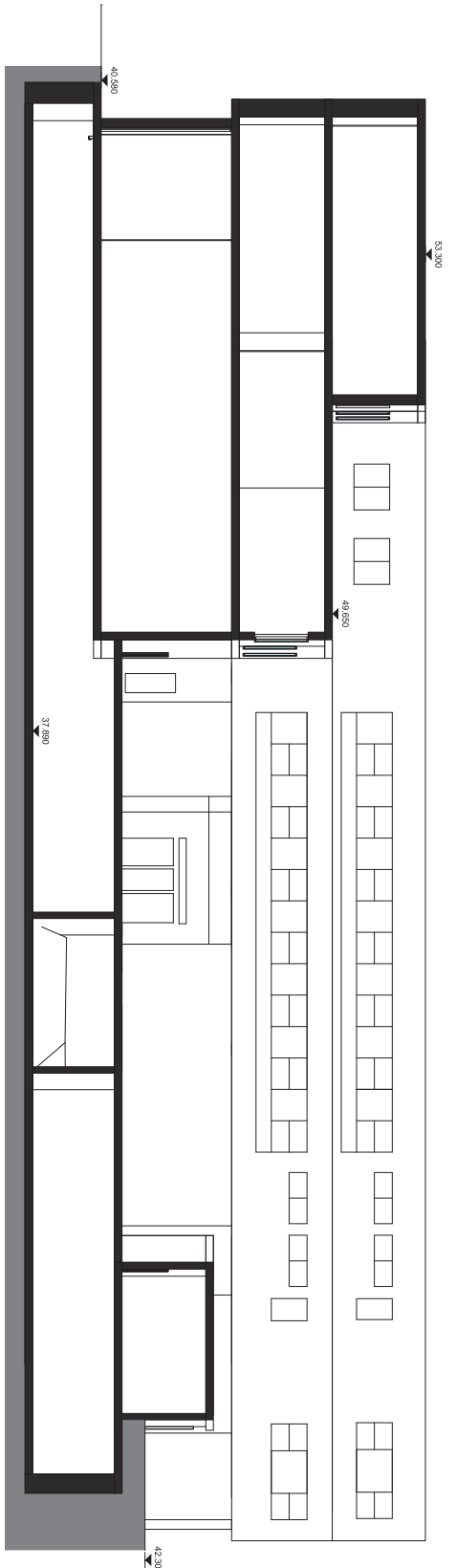
Formal Number: UX8-05L-20-22-DR-A-020101

284 Euston St, Epsom, Surrey, Middlesex, London WOX 0DS  
020 7539 1200  
www.gslk.com





1 North Courtyard Elevation - Existing  
1:100



2 West Courtyard Elevation - Existing  
1:100



Project:  
148-154 Uxbridge High Street,  
UB8 3JY, Hillingdon

Project Title:  
EXISTING SECTIONS

Project Status:  
PLANNING

Client:  
DNA (UK)ROD&I LTD

Project No:  
P23-110

Date:  
28/03/2024

Project No:  
020102

Scale of:  
1 : 100

Drawn By:  
DJ

Checked By:  
AD

Revision:  
A

**DNA | REAL ESTATE**

**MODA**

Company Name:  
DNA (UK)ROD&I LTD

Company No:  
048

Project No:  
P23-110

Date:  
28/03/2024

Project No:  
020102

Scale of:  
1 : 100

Drawn By:  
DJ

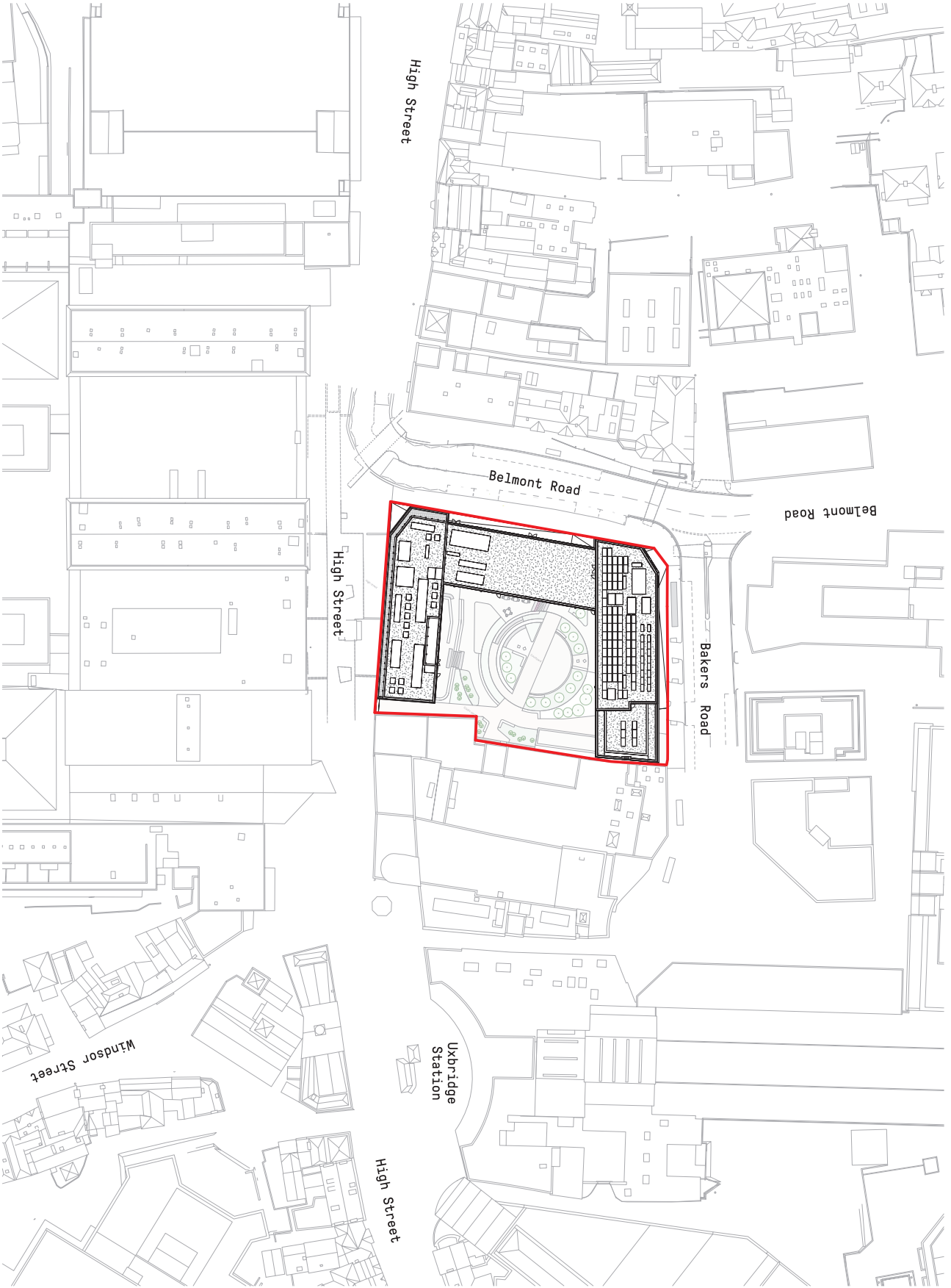
Checked By:  
AD

Revision:  
A

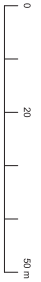
284 Easton St, Epsom  
Middlesex, Surrey

020 7539 7200  
www.gjll.co.uk





1 Site Context Plan  
1:500



4. 2024.07.10 Permitted  
 4. 2024.03.10 Permitted  
 Rev Date By Description

Project:  
 148-154 Uxbridge High Street,  
 UB8 3JY, Hillingdon

Project Title:  
 PROPOSED CONTEXT SITE PLAN

Project Status:  
 PLANNING

Client Name:  
 MODA

**MODA** REAL ESTATE  
 DNA | REAL ESTATE  
 DNA (UXBRIDGE) LTD UKS  
 Project Ref: P23-110  
 Date: 28/03/2024  
 Project Ref: 000110

Contract Ref: UKS  
 Scale: 1 : 500  
 Drawn By: DJ  
 Checked By: AD  
 Date: 28/03/2024  
 Project Ref: 000110

Site Ref: 28/03/2024  
 Project Ref: 000110  
 Project Ref: 000110  
 Project Ref: 000110





**Legend**

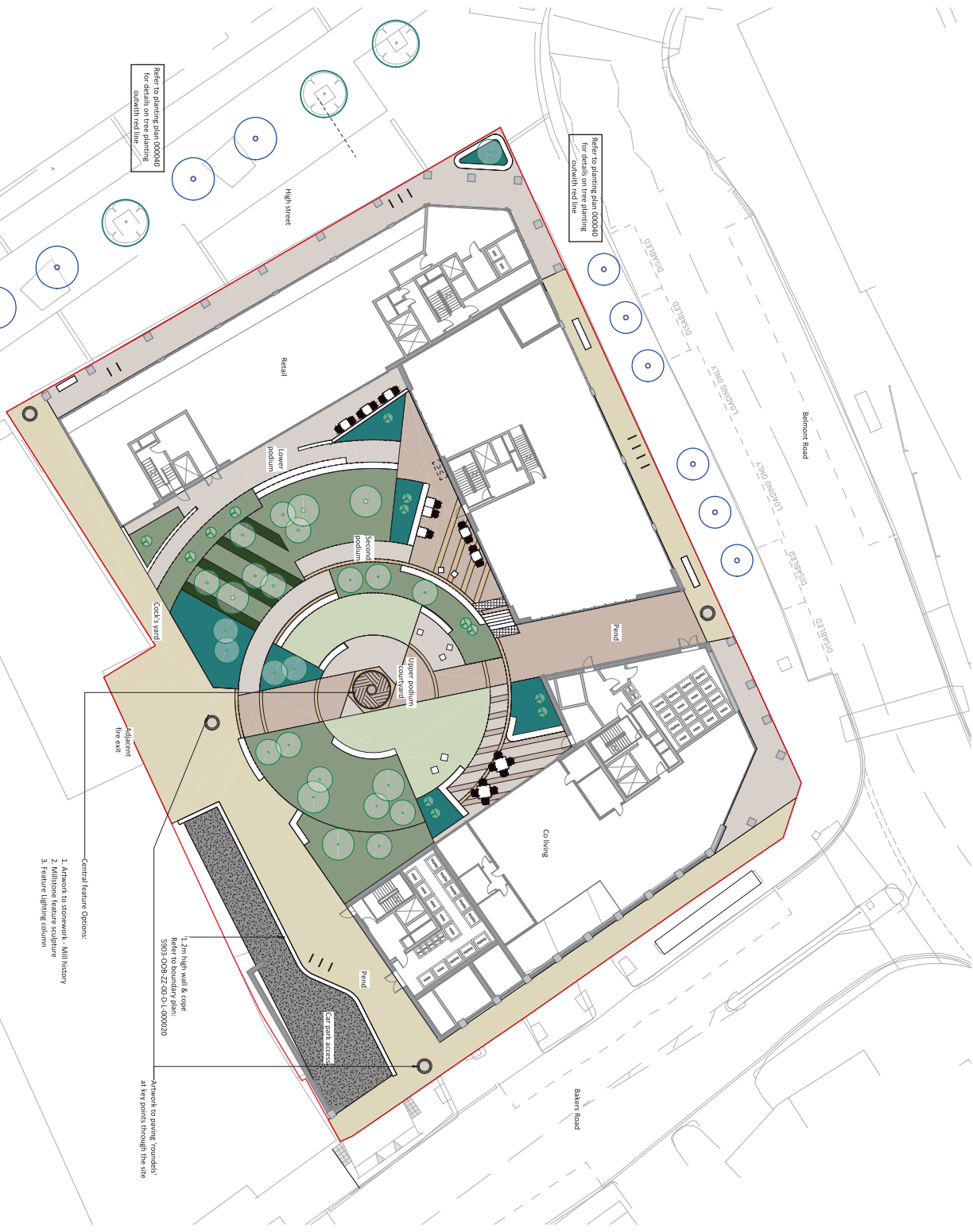
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[Dark grey box]	Hardworks
[Light grey box]	Proposed Vehicular Rammedadam
[Light tan box]	Paving Type 1
[Light green box]	Product: York stone
[Light blue box]	Note: To UKA specification. Maintained by LPA
[Light purple box]	Paving Type 2
[Light yellow box]	Product: Forest Renaut Sandstone or similar
[Light pink box]	Size: 250mm x 1100mm
[Light orange box]	Layer: Stretcher bond
[Light red box]	Supplier: Hardiscap or similar approved
[Light brown box]	Paving Type 3
[Light dark green box]	Product: Crossland Hill Sandstone or similar
[Light dark blue box]	Size: 1850/1600/400mm x W350mm
[Light dark purple box]	Layer: Stretcher bond
[Light dark yellow box]	Supplier: Hardiscap or similar approved
[Light dark orange box]	Feature Paving Bands
[Light dark red box]	Product: Monsumuro Granite or similar
[Light dark brown box]	Size: Bespoke/Varies
[Light dark pink box]	Finish: Flamed
[Light dark purple box]	Supplier: Hardiscap or similar
[Light dark yellow box]	Feature Paving (Cantuary)
[Light dark orange box]	Product: Granite or similar
[Light dark red box]	Size: 400mm x 400mm
[Light dark brown box]	Finish: Flamed with raised corduroy strips
[Light dark pink box]	Supplier: Hardiscap or similar
[Light dark purple box]	Step
[Light dark yellow box]	Product: Granite White concrete or similar
[Light dark orange box]	Size: D350/400mm x H150mm
[Light dark red box]	Finish: Acid etched
[Light dark brown box]	Supplier: Plean Precast or similar
[Light dark pink box]	Solid Terrace seating edge
[Light dark purple box]	Product: Granite White concrete or similar
[Light dark yellow box]	Size: 500mm. Heights 450-500mm. Length: Varies
[Light dark orange box]	Finish: Acid etched
[Light dark red box]	Supplier: Plean Precast or similar
[Light dark brown box]	Bench and table seating
[Light dark pink box]	Product: Timber bench & tables
[Light dark purple box]	Size: SH 1450mm
[Light dark yellow box]	Finish: Primer slate top. PFC steel legs
[Light dark orange box]	Supplier: Timber bench & tables or similar approved
[Light dark red box]	Cycle stands
[Light dark brown box]	Product: Stainless steel Sheffield stand
[Light dark pink box]	Size: 1100 x 400
[Light dark purple box]	Supplier: Sheffield stand
[Light dark yellow box]	Extract vent
[Light dark orange box]	Size: 1100 x 400
[Light dark red box]	Supplier: Refer 000040
[Light dark brown box]	Proposed Flowering lawn
[Light dark pink box]	Product: Refer 000040
[Light dark purple box]	Proposed Native mix 1
[Light dark yellow box]	Product: Refer 000040
[Light dark orange box]	Proposed Ornamental Mix 1
[Light dark red box]	Product: Refer 000040
[Light dark brown box]	Proposed Hedge Planting
[Light dark pink box]	Product: Refer 000040
[Light dark purple box]	Proposed Tree
[Light dark yellow box]	Product: Refer 000040
[Light dark orange box]	Proposed Shrubs
[Light dark red box]	Product: Refer 000040
[Light dark brown box]	Existing trees in hard landscape
[Light dark pink box]	Refer to Planning Strategy 000040
[Light dark purple box]	Indicative Tree in hard landscape
[Light dark yellow box]	Refer to Planning Strategy 000040
[Light dark orange box]	Refer to Planning Strategy 000040

**Outwith red line boundary.**  
Indicative layout illustrated subject to agreement with LPA

**Outwith red line boundary.**  
Indicative layout illustrated subject to agreement with LPA

Existing trees in hard landscape  
Refer to Planning Strategy 000040

Indicative Tree in hard landscape  
Refer to Planning Strategy 000040



- Central feature Options:
1. Artwork to framework - Mill history
  2. Millstone feature sculpture
  3. Feature Lighting column

1.2m high wall & cope  
Refer to boundary plan: 5903-008-ZZ-00-D-1-000020

Artwork to create 'boundary' at key points through the site

**oobe**  
OUBB ENGINEERING & ARCHITECTURE

Client: DNA (UK) GROUP LTD  
Project: Oudridge High Street  
Title: Site Plan

Author	Drawn	Checked	Approved	Date
5903-008-ZZ-00-D-1-000001	5903-008-ZZ-00-D-1-000001	5903-008-ZZ-00-D-1-000001	5903-008-ZZ-00-D-1-000001	17/12/23

Approved to show statements for Planning Statement, Tree Planting, proposed pedestrian routes and the boundary for the landscape plan. The client is responsible for providing the correct information. The contractor is responsible for providing the correct information.



**Notes:** 1. All planting shall be in accordance with the specifications and standards set out in the attached schedule of materials. 2. All planting shall be in accordance with the specifications and standards set out in the attached schedule of materials. 3. All planting shall be in accordance with the specifications and standards set out in the attached schedule of materials. 4. All planting shall be in accordance with the specifications and standards set out in the attached schedule of materials. 5. All planting shall be in accordance with the specifications and standards set out in the attached schedule of materials.

**Legend**

- Site Boundary
- Proposed Flowering lawn
- Native species(15+)
- 80:20 Ratio Grass to Wildflower
- Proposed Native mix 1
- Proposed Ornamental Mix 1
- Proposed Hedge Planting
- Proposed Tree
- Proposed Shrubs

**Outwith red line boundary**  
 Indicative layout illustrated subject to agreement with LPA  
 Existing trees in hard landscape  
 Underground utility/cable  
 Indicative Tree in hard landscape  
 - Planted in inter-connected below ground tree pit cells with tree recessed tree grilles

\*Subject to agreement on positions, quantity and species  
 \*Subject to coordination with existing tree pits, services, street furniture and lighting column positions

**Specimen Trees**

Species	Quantity	Height (m)	DBH (cm)	Notes
Specimen Tree 1	1	10-12	10-12	...
Specimen Tree 2	1	10-12	10-12	...

**Proposed Shrubs**

Species	Quantity	Height (m)	DBH (cm)	Notes
Proposed Shrub 1	1	1.5-2.0	1.5-2.0	...
Proposed Shrub 2	1	1.5-2.0	1.5-2.0	...

**Proposed Trees**

Species	Quantity	Height (m)	DBH (cm)	Notes
Proposed Tree 1	1	2.0-2.5	2.0-2.5	...
Proposed Tree 2	1	2.0-2.5	2.0-2.5	...

**Proposed Hedge**

Species	Quantity	Height (m)	Notes
Proposed Hedge 1	1	1.5-2.0	...

**Proposed Street Trees (Oakham and line Boundary)**

Species	Quantity	Height (m)	Notes
Proposed Street Tree 1	1	1.5-2.0	...

**Client:** DNA (UK) GROUP LTD  
**Project:** Overidge High Street  
**Planting Strategy**

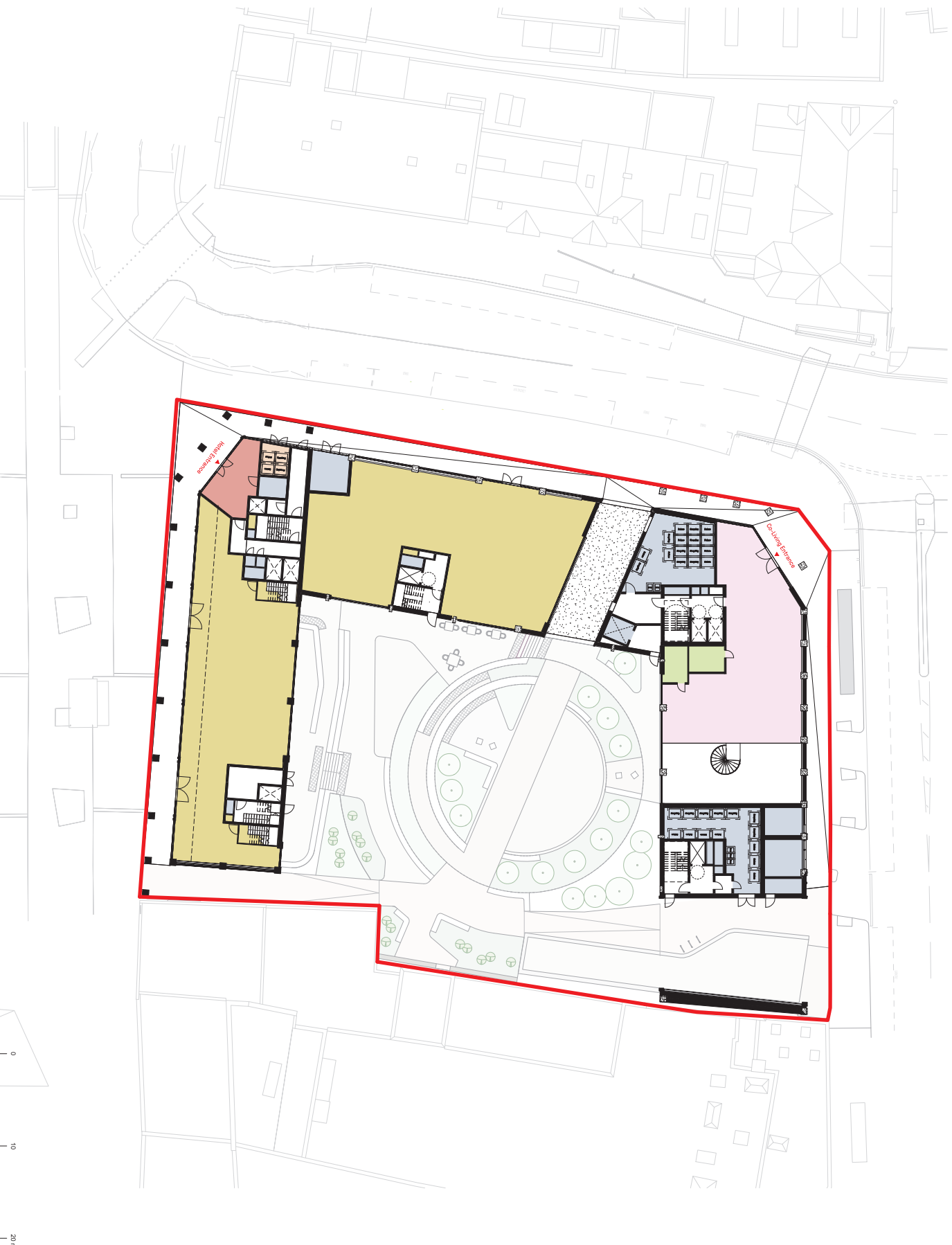
**oobe**  
 OOBES CONSULTANTS  
 171, 27th Floor, 100 Broad Street, Birmingham, B1 2JQ  
 Tel: 0121 633 2200  
 Email: info@oobe.co.uk  
 www.oobe.co.uk

**Drawn by:** [Name]  
**Checked by:** [Name]  
**Date:** 15/03/23

**Scale:** 1:200  
**Project No.:** 5933-008-ZZ-00-D-L-00000  
**Rev.:** 04  
**Date:** 15/03/23







**USES KEY**

- Ancillary
- Co-Living BOH
- Co-Living Accessible
- Co-Living Amenity
- Co-Living Bedroom
- Family Bedrooms
- Accessible Bedroom
- Standard Bedroom
- Hotel F&H
- Retail
- Hotel BOH

1 2024.07.10 Planning  
 2 2024.07.10 Planning  
 3 2024.07.10 Planning  
 Rev Date By Description

Project:  
 148-154 Uxbridge High Street,  
 UB8 3JY, Hillingdon

**PROPOSED GROUND FLOOR SITE PLAN**

Project Title  
**PLANNING**

DNA | REAL  
 ESTATE

**MODA**

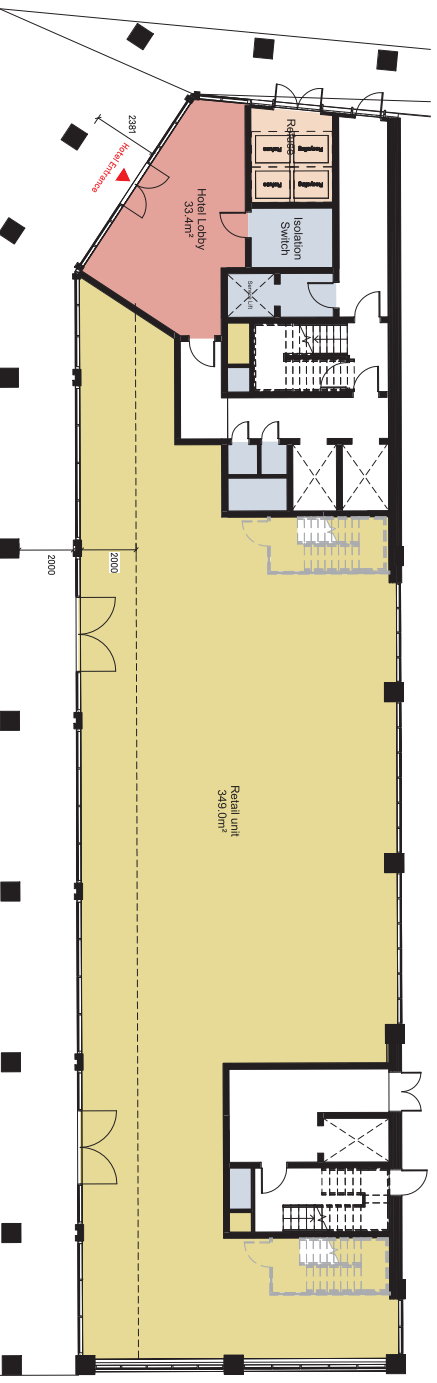
Client: DNA (UXBRIDGE) LTD  
 Project No: P23-110  
 Site: 28/03/2024  
 Drawing No: 000111  
 Scale: 1:200  
 Date: 28/03/2024  
 Drawn By: DJ  
 Checked By: AD  
 Status: B

284 Easton St, Ermoth 020 7339 7200  
 Market, London W1X 0DS www.cgjlc.com





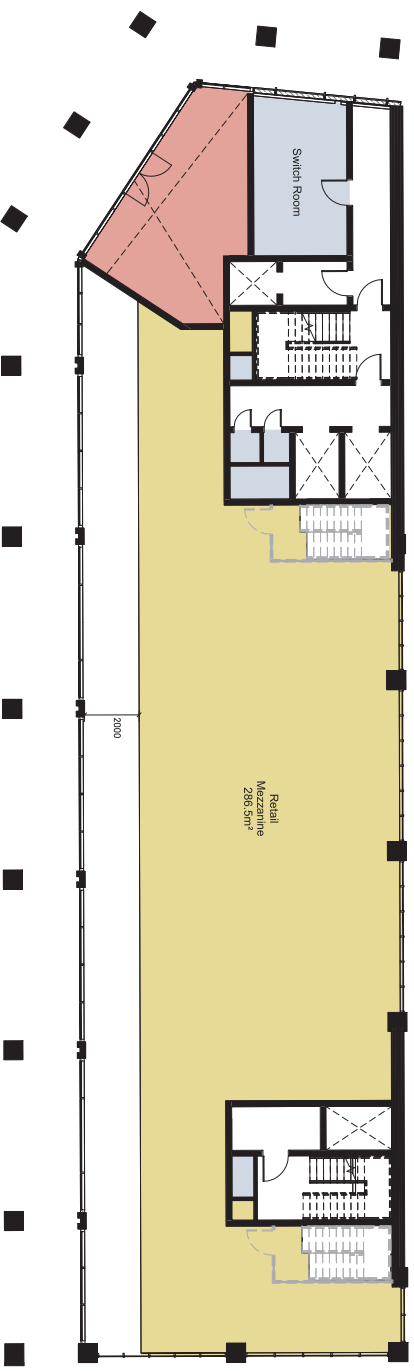




1 GROUND FLOOR PLAN  
1:100

**USES KEY**

Grey	Ancillary
Light Blue	Hotel B0H
Orange	Family Bedrooms
Yellow	Accessible Bedroom
Light Green	Standard Bedroom
Red	Hotel F0H
Green	Retail



2 MEZZANINE FLOOR PLAN  
1:100



4 2024/07/14 Planning (Final) - response to comments  
3 2024/03/14 Planning (Issue)  
Rev 2/29 By Construction  
Rev 1/28 By Construction

**148-154 Uxbridge High Street,  
UB8 3YJ, Hillingdon**

**HOTEL, PROPOSED GROUND FLOOR &  
MEZZANINE PLANS**

Prepared for:  
**PLANNING**

Drawn by:  
Doveridge

**DNA | REAL  
ESTATE**

**MODA**

Client: **DNA (UXBRIDGE) LTD**  
Project Name: **UX8**

Production Number: **P23-110**  
Site: **28/03/2024**  
Drawn by: **DJ AD**  
Checked by: **AD**

Scale of all: **1 : 100**  
Date of issue: **28/03/2024**  
Drawing No: **051101**  
Revision: **A**

Drawing Number: **UX8-091-21-22-DR-A-051101**

294 Easton St. Epsom, Surrey  
Middlesex, London WPCX 0DS  
020 7539 1200  
www.gla.com

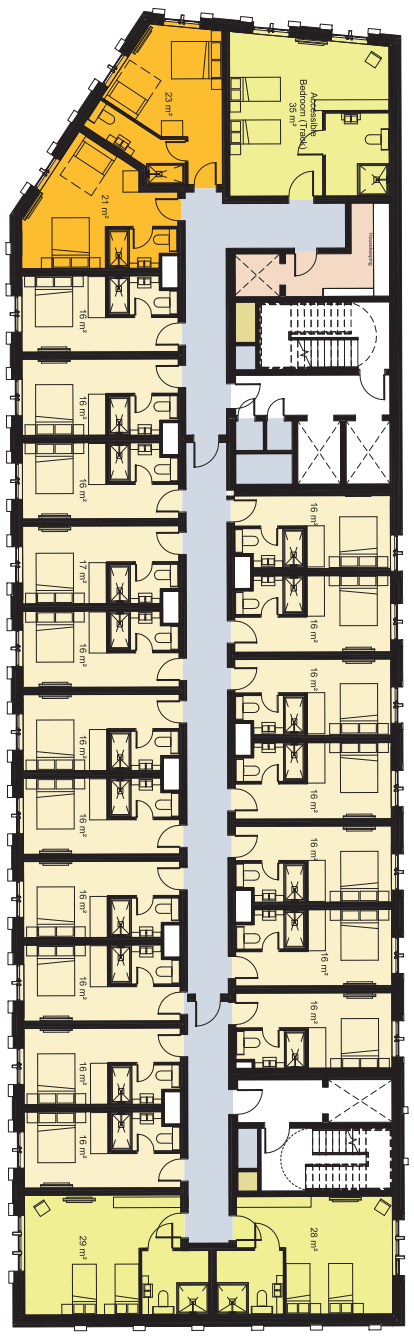






# 1 FIRST FLOOR PLAN

1:100

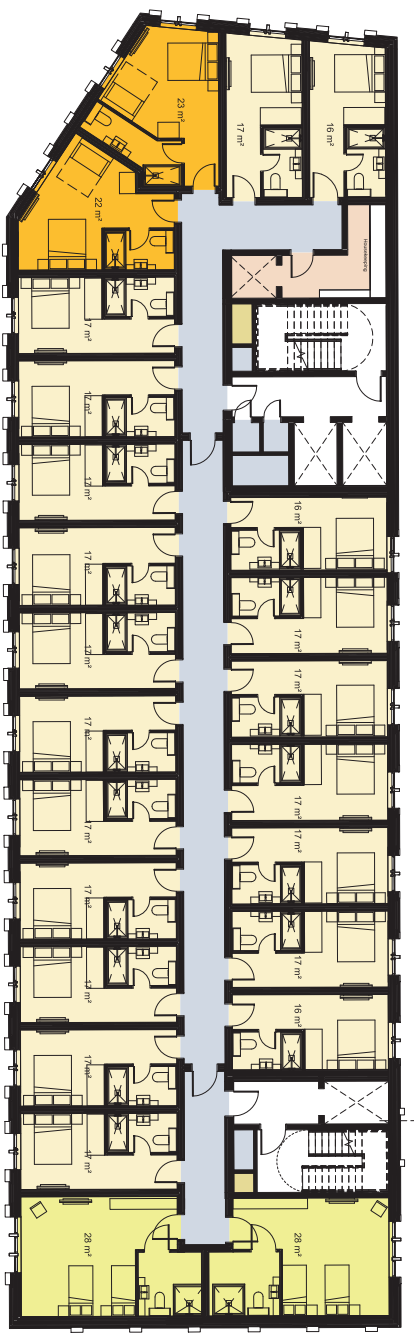


**USES KEY**

- Ancillary
- Hotel BHH
- Family/Bedrooms
- Accessible Bedroom
- Standard Bedroom
- Hotel FHH
- Retail

# 2 SECOND FLOOR PLAN

1:100



2024.07.10 Planning/Issue 11 proposed to commence  
 2024.03.10 Planning/Issue 10  
 2024.03.10 By Description  
 Rev Date By Description

**Project:**  
 148-154 Uxbridge High Street,  
 UB8 3JY, Hillingdon

**Proposed:**  
 HOTEL - PROPOSED FIRST FLOOR & SECOND FLOOR PLANS

**Project Status:**  
 PLANNING

**Drawn/Issued:**  
 DJ/AD

**DNA | REAL ESTATE**

**MODA**

**Client:**  
 DNA (UXBRIDGE) LTD  
 UKMS

**Project No.:**  
 P23-110

**Scale:**  
 1 : 100

**Date:**  
 28/03/2024

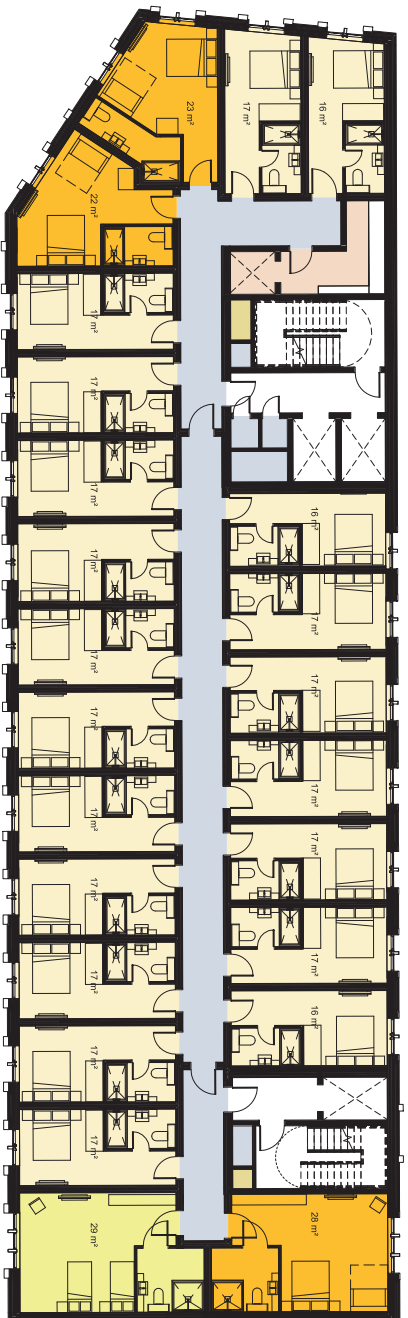
**Drawn/Issued By:**  
 DJ/AD

**Revision:**  
 051102 A

**Site Address:**  
 284 Easton St, Ermoth  
 Market, London W1X 0DS

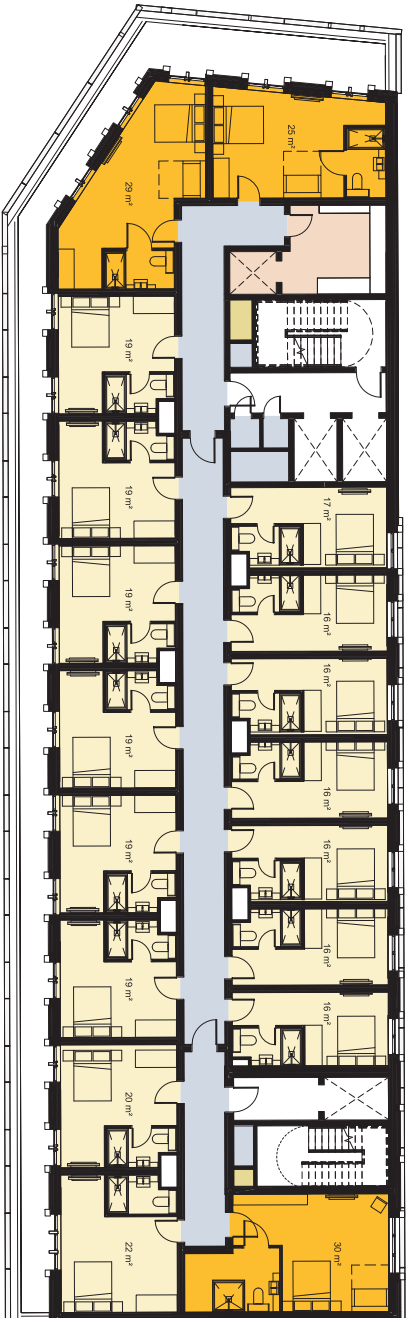
**Contact:**  
 020 7539 7200  
 www.gjllaw.com





1 TYPICAL FLOOR PLAN (THIRD TO SIXTH FLOOR)  
1:100

USES KEY	
[Light Blue Box]	Accessory
[Light Orange Box]	Hotel B&H
[Yellow Box]	Family/Bedrooms
[Light Green Box]	Accessible Bedroom
[Light Yellow Box]	Standard Bedroom
[Pink Box]	Hotel F&H
[Light Green Box]	Retail



2 SEVENTH FLOOR PLAN  
1:100



4 2024.07.10 Planning/Issue 11 proposed as comments  
3 2024.03.10 Planning/Issue 10  
2 2023.12.10 Planning/Issue 9  
Rev Date By Description

Project:  
148-154 Uxbridge High Street,  
UB8 3JY, Hillingdon

Proposed:  
HOTEL - PROPOSED UPPER FLOOR PLANS  
(THIRD FLOOR TO SEVENTH FLOOR)

Project Status:  
PLANNING

Client:  
DNA | REAL  
ESTATE

**MODA**  
Company Name  
DNA (UXBRIDGE) LTD  
UKS

Project No:  
P23-110  
Scale of:  
1 : 100

Rev: 28/03/2024  
Drawn by: DJ  
Checked by: AD  
Project No: 051103  
Revision: A

Site No: 28/03/2024  
Drawing No: 051103  
Drawing Title: A  
284 Easton St, Ermoth 020 7339 7200  
Market, London W1K 0DS www.gjll.co.uk





TYPICAL UPPER FLOOR PLAN



**USES KEY**

Light Blue	Accessibility
Light Green	Co-Living B&H
Medium Green	Co-Living Accessible
Pink	Co-Living Amenity
Yellow	Co-Living Bedroom
Light Yellow	Retail



4. 2024/07/10 Permitted  
 4. 2024/03/10 Permitted  
 Rev. Date By Description

Project: 148-154 Uxbridge High Street,  
 UB8 3JY, Hillingdon

Project Title: CO-LIVING - PROPOSED TYPICAL UPPER FLOOR  
 PLAN (SECOND TO SEVENTH FLOOR)

Project Status: PLANNING

Client: MODA

MODA | REAL ESTATE

**MODA**  
 DNA (UXBRIDGE) LTD  
 DNA  
 Company Name: DNA  
 UKS

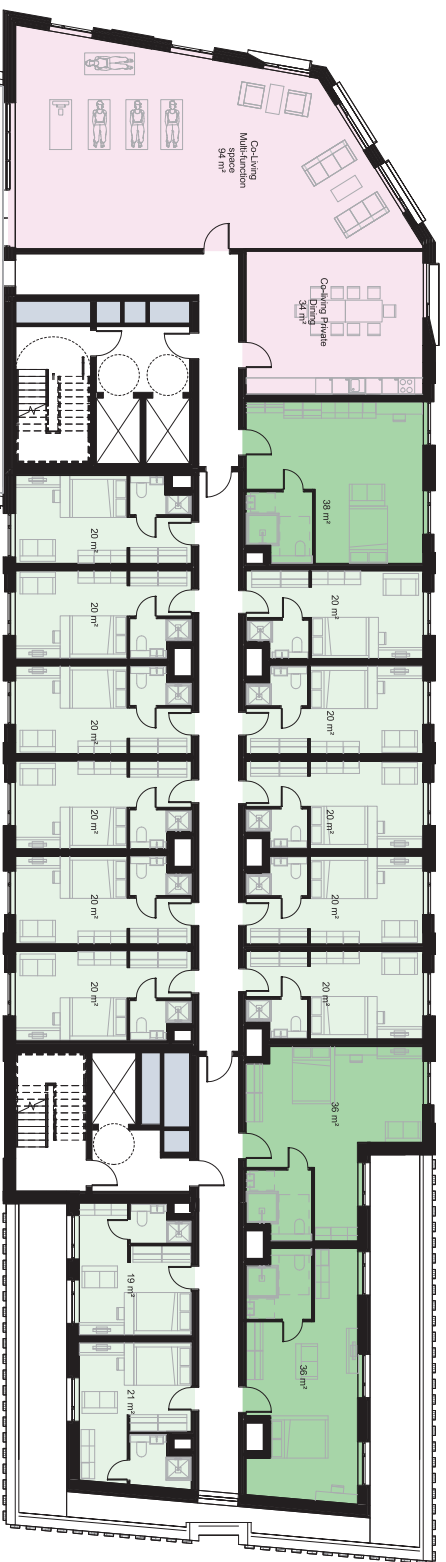
Project Ref: P23-110  
 Scale: 1 : 100

Date: 28/03/2024  
 Drawn By: DJ  
 Checked By: AD

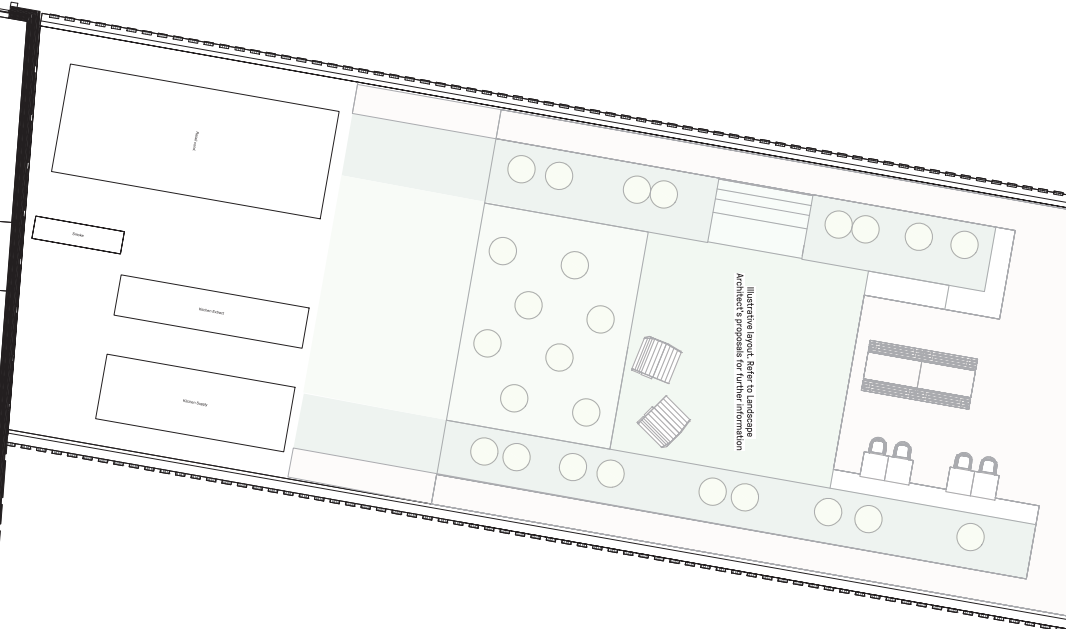
052102 A

284 Easton St, Ermoth 020 7339 1200  
 Market, London W1K 0DS www.cjgl.co.uk





Illustrative layout. Refer to Landscape Architect's proposals for further information



4. 2024/07/14 Planning/Design/Preparation Documents  
 3. 2024/03/14 Planning/Design  
 Rev. 2/20 By: [Redacted]

**Project**  
 148-154 Uxbridge High Street,  
 UB8 3JY, Hillingdon

**Project Title**  
 CO-LIVING - PROPOSED EIGHTH FLOOR PLAN

**Prepared By**  
 PLANNING

**Drawn By**

**DNA | REAL ESTATE**  
**MODA**  
 DNA (UXBRIDGE) LTD LXB8

**Company Name**  
 DNA (UXBRIDGE) LTD LXB8

**Product Name**  
 P23-110

**Scale of Plot**  
 1 : 100

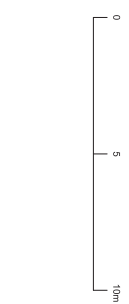
**Date**  
 28/03/2024

**Drawn By**  
 DU AD

**Checked By**  
 A

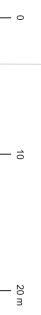
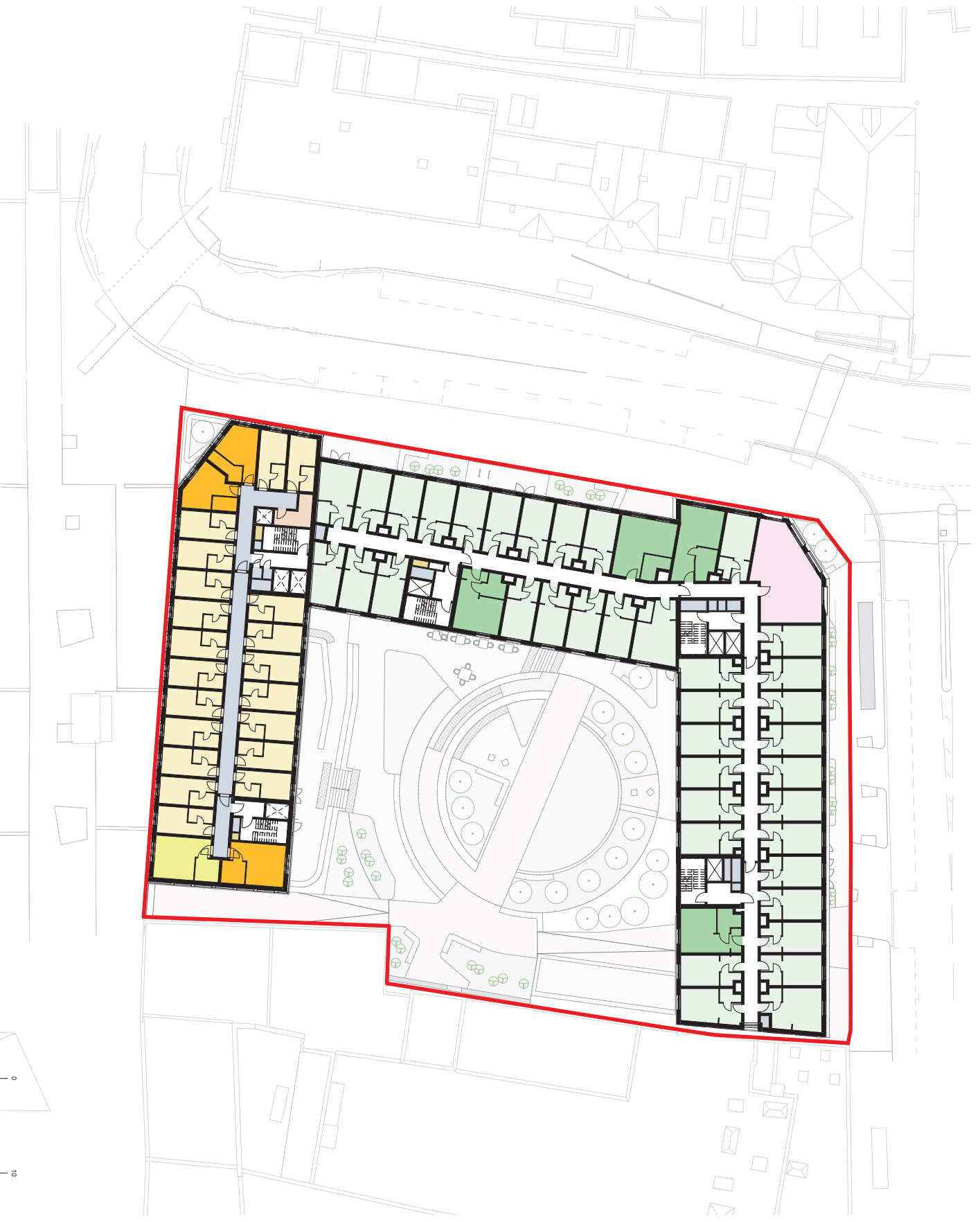
**Project Number**  
 LXB-CGL-22-08-DR-A-052108

29A Easton St. Epsom, 020 7539 1200  
 Market, London WC1X 0DS www.dnagk.com









- USES KEY**
- Ancillary
  - Co-Living BOH
  - Co-Living Accessible
  - Co-Living Amenity
  - Co-Living Bedroom
  - Family Bedrooms
  - Accessible Bedroom
  - Standard Bedroom
  - Hotel FOH
  - Retail
  - Hotel BOH

2024/25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000

**PROPOSED TYPICAL UPPER FLOOR PLAN (THIRD TO SIXTH FLOORS)**

148-154 Uxbridge High Street,  
UB8 3YJ, Hillingdon

2024/25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000

**DNA | REAL ESTATE**

**MODA**

Client: DNA (UXBRIDGE) LTD  
Project Number: P23-110  
Scale: 1 : 200  
Date: 28/03/2024  
Drawing Number: 000112  
Revision: -

29A Easton St, Epsom, Surrey, Middlesex, London WXX 0DS  
020 7539 1200  
www.dnareal.com

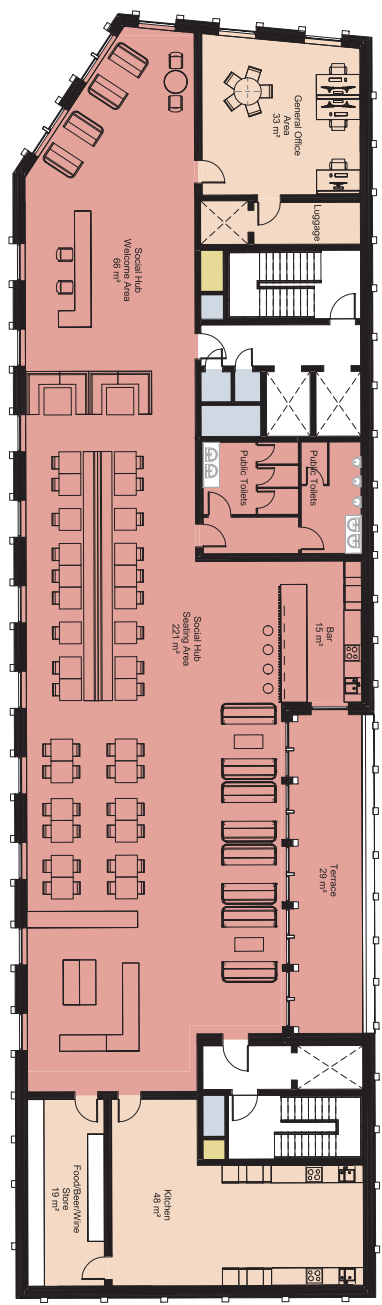




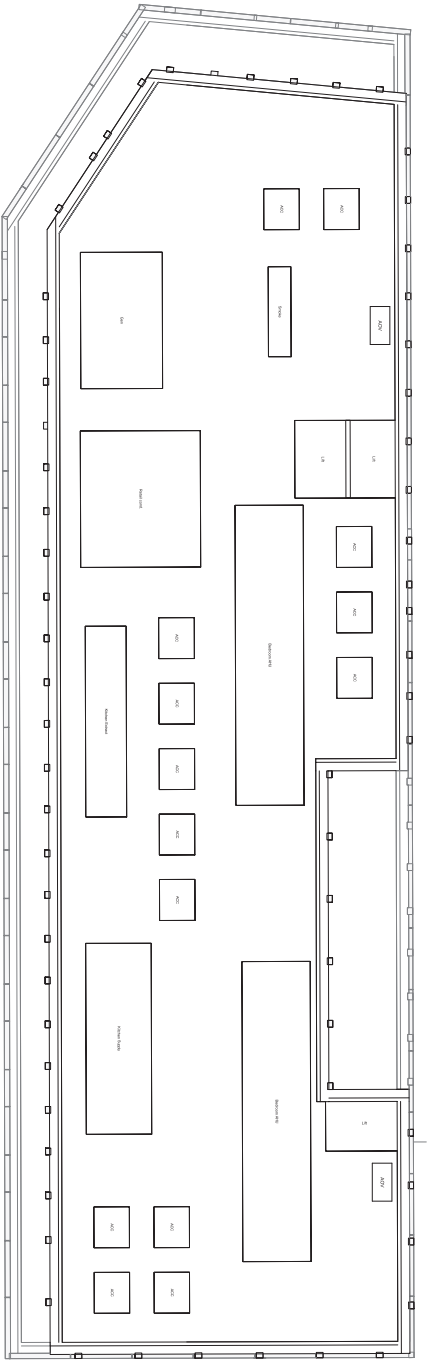


USES KEY

- Ancillary
- Hotel B&H
- Family Bedrooms
- Accessible Bedroom
- Standard Bedroom
- Hotel F&H
- Retail



**1** EIGHTH FLOOR PLAN  
1:100



**2** ROOF PLAN  
1:100

1. 2024.01.14 - Planning amendments  
 2. 2024.01.14 - Planning amendments  
 3. 2024.01.14 - Planning amendments  
 4. 2024.01.14 - Planning amendments  
 5. 2024.01.14 - Planning amendments  
 Rev: 2024.01.14 - Description

Project:  
**148-154 LUXBRIDGE HIGH STREET,  
 UB8 3JY, HILLINGDON**

DRAWING TITLE:  
**148-154 LUXBRIDGE HIGH STREET & ROOF  
 PLAN - PROPOSED EIGHTH FLOOR & ROOF  
 PLAN**

DRAWING NO:  
**PLANNING**

DATE:  
**28/03/2024**

SCALE:  
**1 : 100**

PROJECT NO:  
**051104**

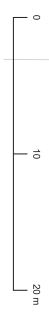
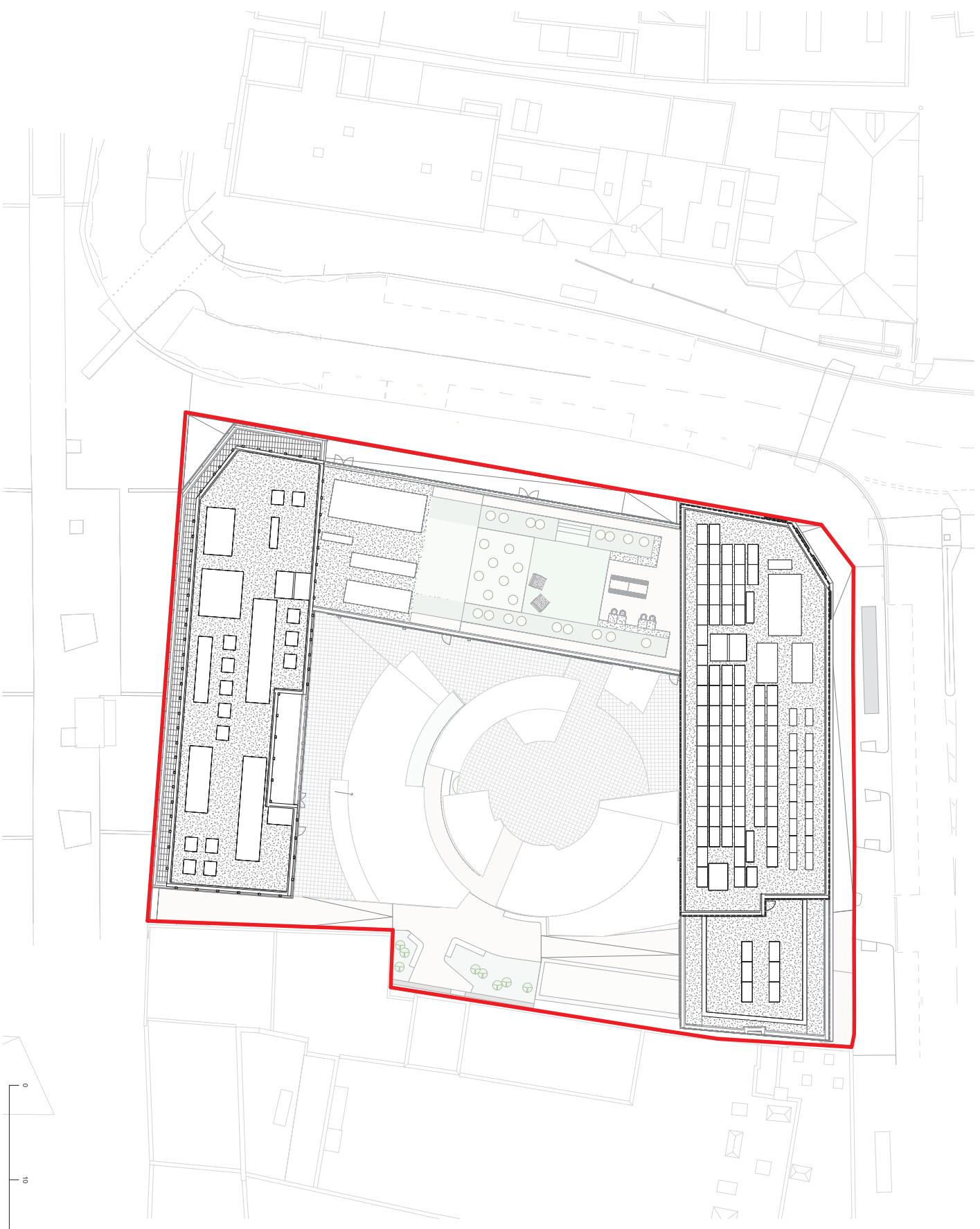
CLIENT:  
**DNA | REAL ESTATE**

PROJECT NO:  
**051104**

PROJECT NAME:  
**148-154 LUXBRIDGE HIGH STREET,  
 UB8 3JY, HILLINGDON**



29A Foston St, Epsom, Surrey, Surrey, Surrey  
 020 7539 1200  
 www.gladsonlewis.com



- USES KEY**
- Ancillary
  - Co-Living BOH
  - Co-Living Accessible
  - Co-Living Amenity
  - Co-Living Bedroom
  - Family Bedrooms
  - Accessible Bedroom
  - Standard Bedroom
  - Hotel FOH
  - Retail
  - Hotel BOH

- 8 2024/01/12 JG Planning amendments
- 4 2024/07/12 JG Planning amendments
- 1 2024/03/12 JG Planning amendments
- Rev 2/20 28/09/2024 JG Description

Project  
148-154 Uxbridge High Street,  
UB8 3JY, Hillingdon

Project Name  
**PROPOSED ROOF SITE PLAN**

Project Stage  
**PLANNING**

Client  
DNA | REAL ESTATE

Client  
**MODA**

Company Name  
DNA (UXBRIDGE) LTD

Project Number  
P23-110

Scale  
1 : 200

Date  
28/09/2024

Drawn By  
DU AD

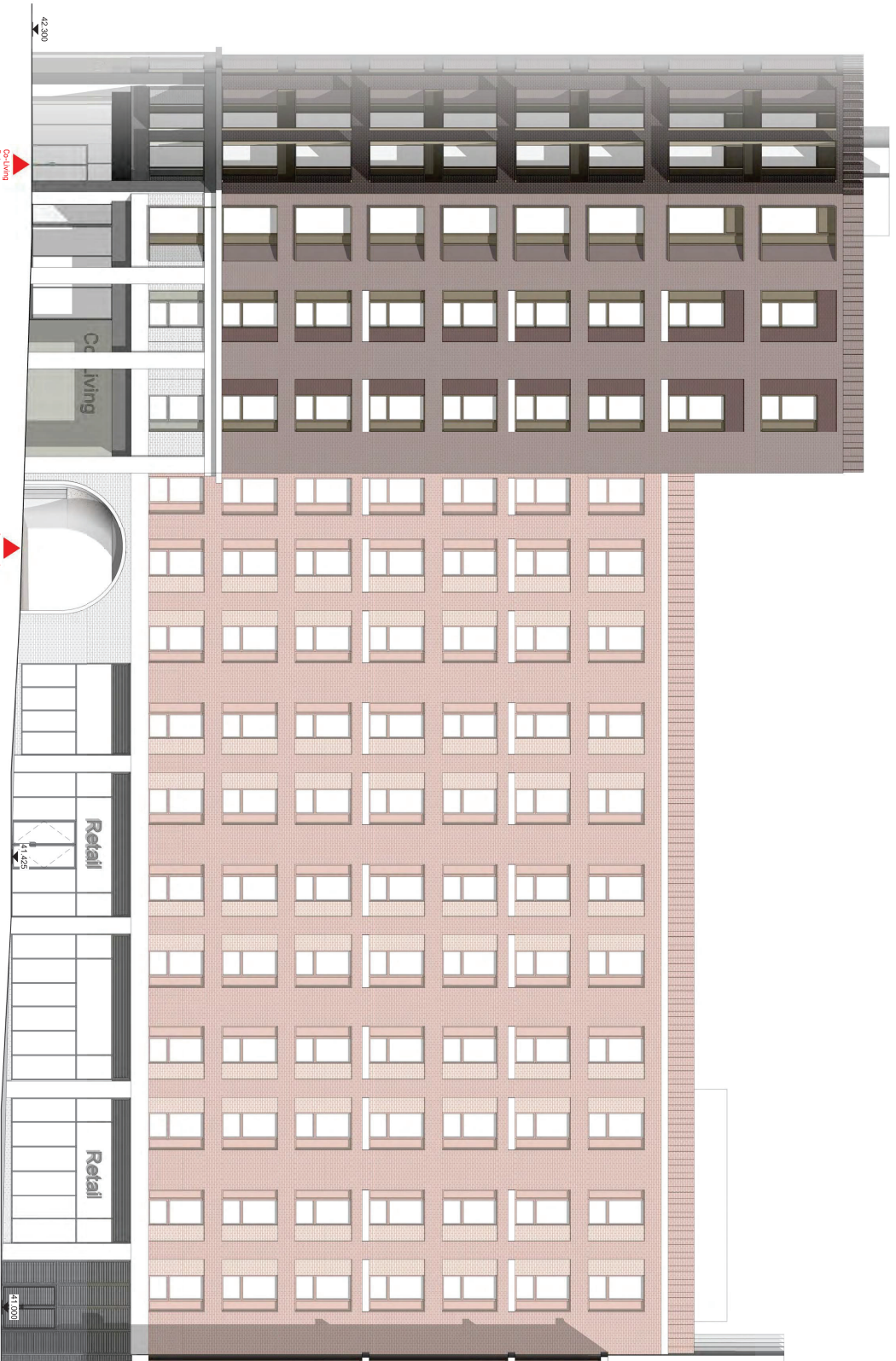
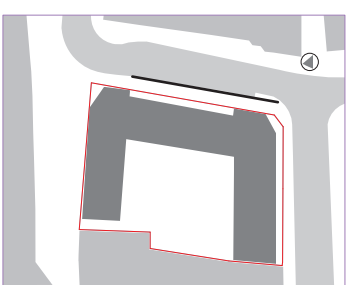
Checked By  
AD

Project Reference  
000113

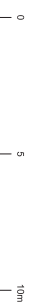
Project Code  
LXB-CG1-Z0-RF-DR-A-000113

29A Foston St. Epsom, Surrey  
Middlesex, London WPCX 0DS  
020 7539 7200  
www.gcl.com





Signage indicative only



2024/07/14 Planning Team Response Comments  
 2024/05/14 Planning Team  
 Rev 2/29 By Client/Architect

Project  
 148-154 Lixbridge High Street,  
 UB8 3YJ, Hillingdon

PROPOSED COLIVING NORTH ELEVATION

Project Name  
 PLANNING

Client  
 DNA | REAL

ESTATE

MODA

Client  
 DNA (UXBRIDGE) LTD UX8

Product Code  
 P23-110 Scale 1 : 100

Date  
 28/03/2024 DJ AD

Drawn By  
 062104 A

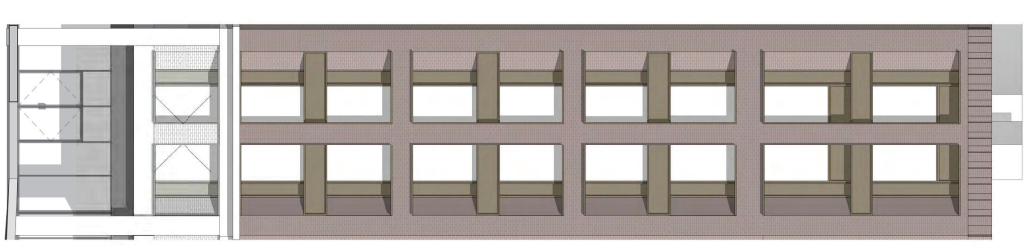
Drawn By  
 UX8-CG1 - Z0-XX-DR-A-062104

28A Easton St. Epsom, Surrey  
 Market, London WC1X 0DS  
 020 7539 1200  
 www.gladsonlewis.com

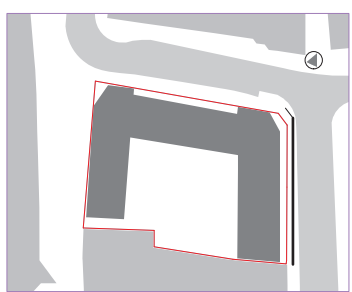
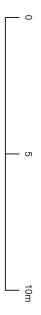




1 Co-Living Elevation - Bakers Road  
1:100



2 Co-Living Bakers/Belmont  
1:100



- 8 2024/01/17 Ag Planning Issues in response to comments
  - 4 2024/01/16 Ag Update in response to further comments
  - 3 2024/01/16 Planning Issues
  - Rev 2/24 Ag Description
- Project:  
148-154 Uxbridge High Street,  
UB8 3YJ, Hillingdon

PROPOSED COLIVING EAST ELEVATION

Project Name:  
**PLANNING**

Client:  
**DNA | REAL ESTATE**

**MODA**

Client Name:  
**DNA (UXBRIDGE) LTD**

Project Name:  
**P23-110**

Scale of Plot:  
**1 : 100**

Date:  
**28/03/2024**

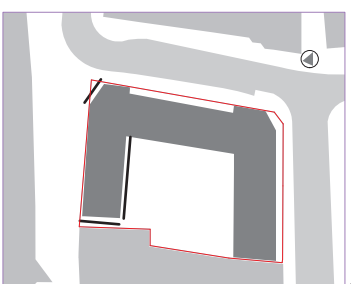
Drawn By:  
**DJ AD**

Checked By:  
**B**

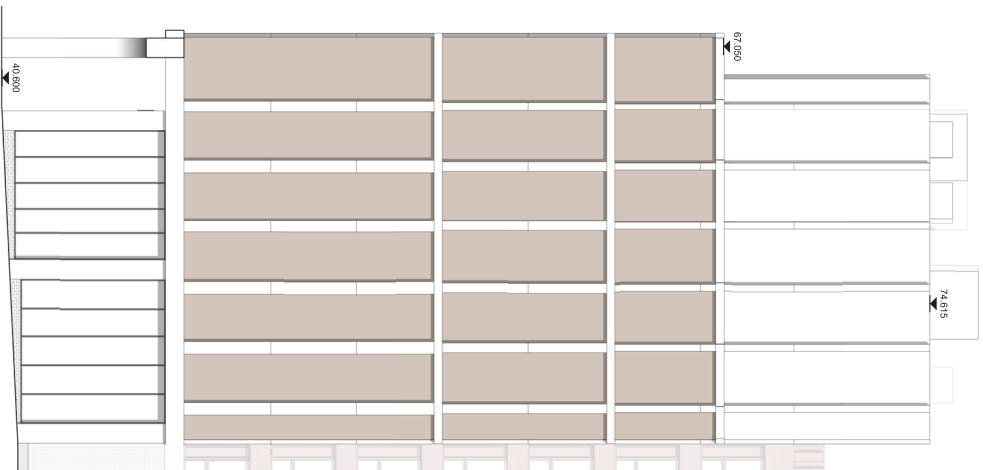
Drawn Number:  
**LXB-CGL-Z0-XX-DR-A-062103**

28A Easton St. Epsom, Surrey  
Middlesex, London WPCX 0DS  
020 7539 1200  
www.gclaw.com





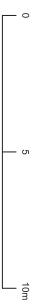
1 Hotel Elevation - Belmont/High St  
1:100



2 Hotel Elevation - Cocks Yard  
1:100



3 Hotel Elevation - Courtyard East  
1:100



- 3 2024.01.14 - Planning amendments
- 8 2024.01.14 - Planning amendments
- 4 2024.01.14 - Update to response to further comments
- 2 2023.12 - Planning Issues
- Rev 2023.09 - Description

Project  
148-154 Uxbridge High Street,  
UB8 3Y, Hillingdon

Proposed  
PROPOSED HOTEL SOUTH FLANK & EAST  
ELEVATION

Prepared for  
PLANNING

Client/Logo

DNA | REAL  
ESTATE

**MODA**

Client  
DNA (UXBRIDGE) LTD UX8

Project Number  
P23-110 Scale 1:100

Date  
28/09/2024 Drawn By DJ

Drawn/Checked By  
061106 C AD

Revision

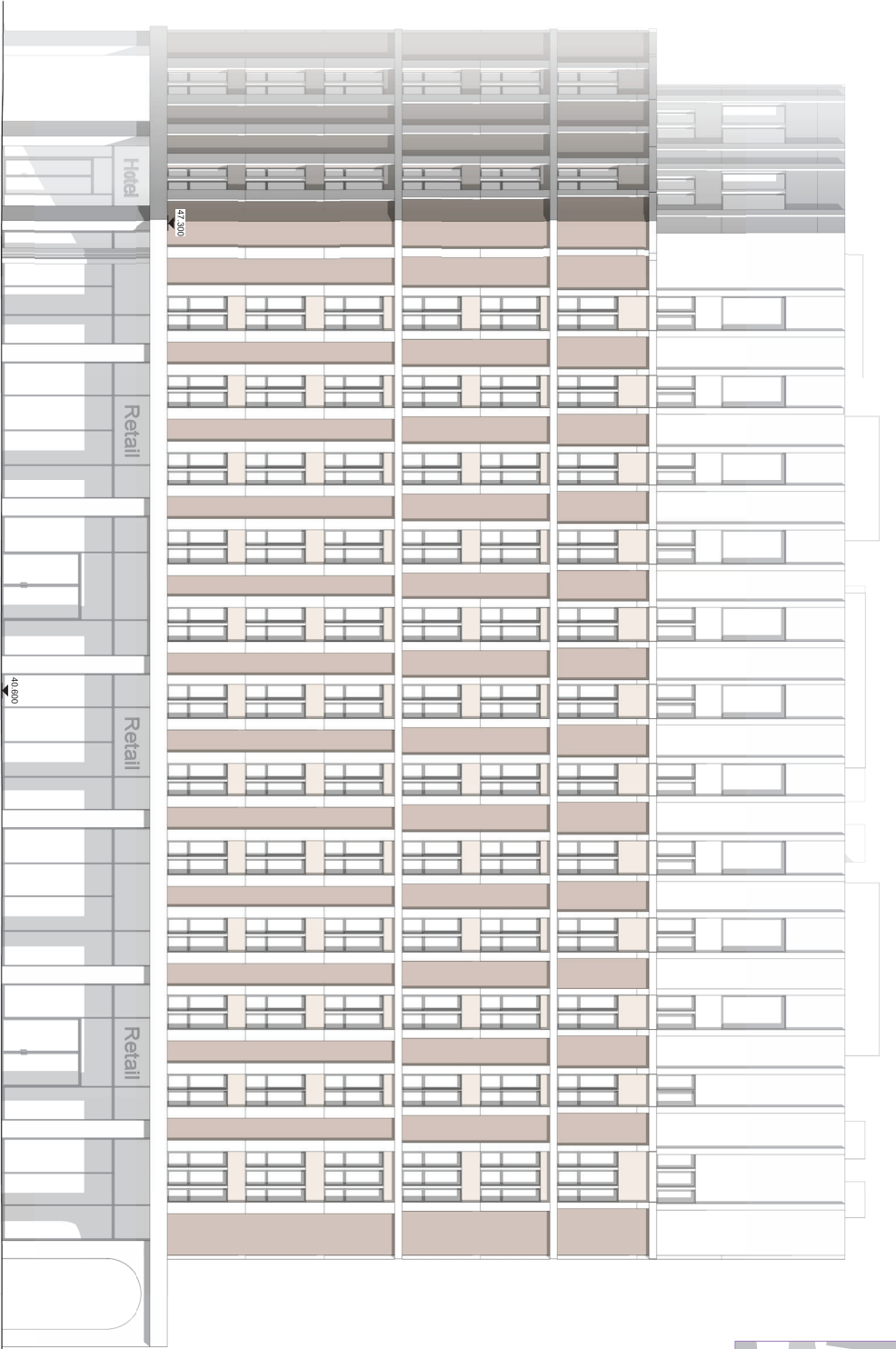
Client Number  
UX8-CG1-Z0-XX-DR-A-061106

28A Foston St, Epsom, Surrey, Middlesex, London WPC10DS  
020 7539 7200  
www.gladsonlewis.com

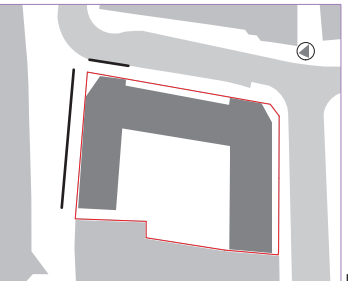




1 Hotel Elevation - Belmont Road  
1:100



2 Hotel Elevation - High Street  
1:100



- 1 2024.01.14 - Planning applications
  - 2 2024.01.14 - Planning listed in response to comments
  - 3 2024.01.14 - Listed in response to further comments
  - 4 2024.01.14 - Planning listed
  - Rev: 28/03/2024 - Description
- Project:  
148-154 Lixbridge High Street,  
UB8 3YJ, Hillingdon
- Client:  
PROPOSED HOTEL NORTH & WEST ELEVATION
- Project Name:  
Hillgate House

Overage  
DNA | REAL  
ESTATE

**MODA**

DNA (UXBRIDGE) LTD  
Company Number: P23-110

Scale of Plot: 1 : 100

Site No: 28/03/2024

Drawn By: DJ

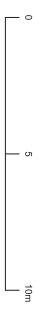
Checked By: AD

Project No: 061105

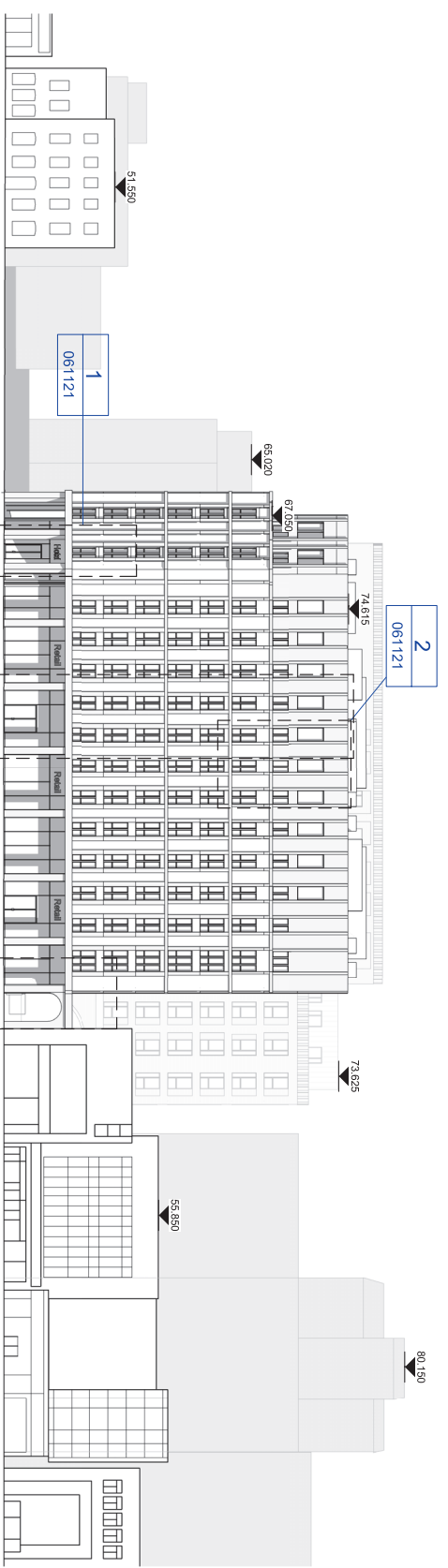
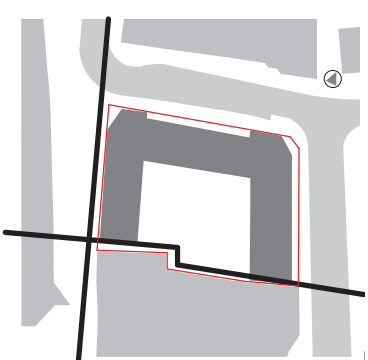
Client Ref: C

Design Number: LXB-CG1-Z0-XX-DR-A-061105

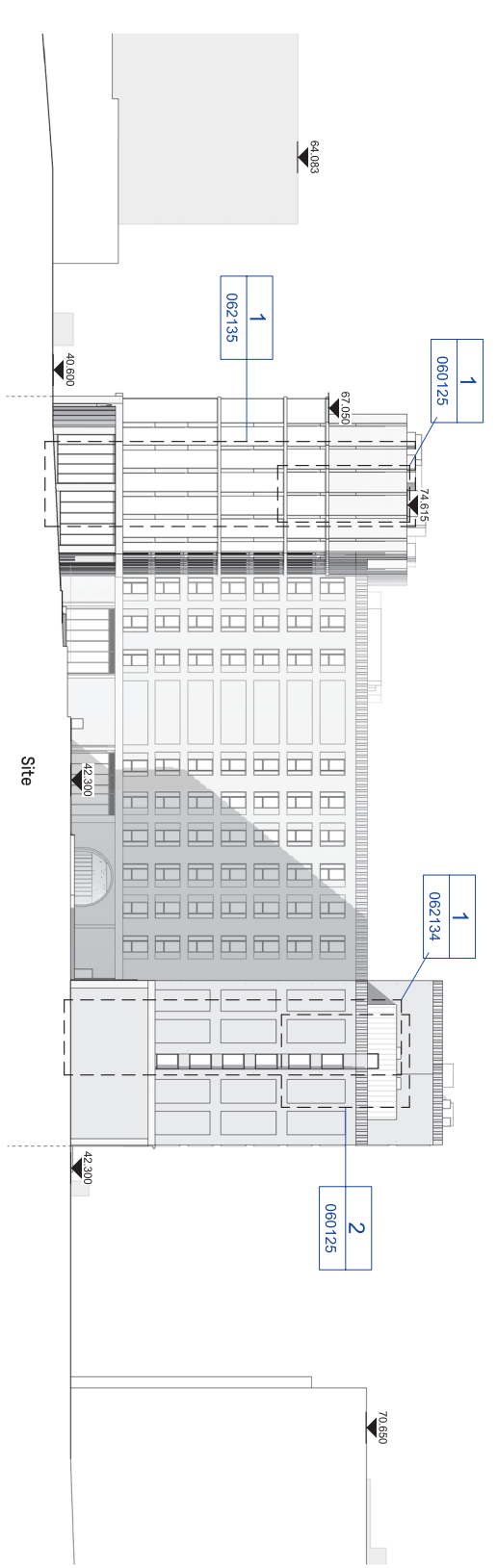
28A Easton St. Epsom, Surrey  
Middlesex, London WPCX 0DS  
020 7539 7200  
www.gclaw.com







1  
1 : 500  
High Street Elevation



2  
1 : 500  
Cocks Yard Elevation



Project  
148-154 Uxbridge High Street,  
UB8 1JY, Hillingdon

Proposed Site ELEVATIONS AA

PLANNING

DNA | REAL ESTATE  
**MODA**

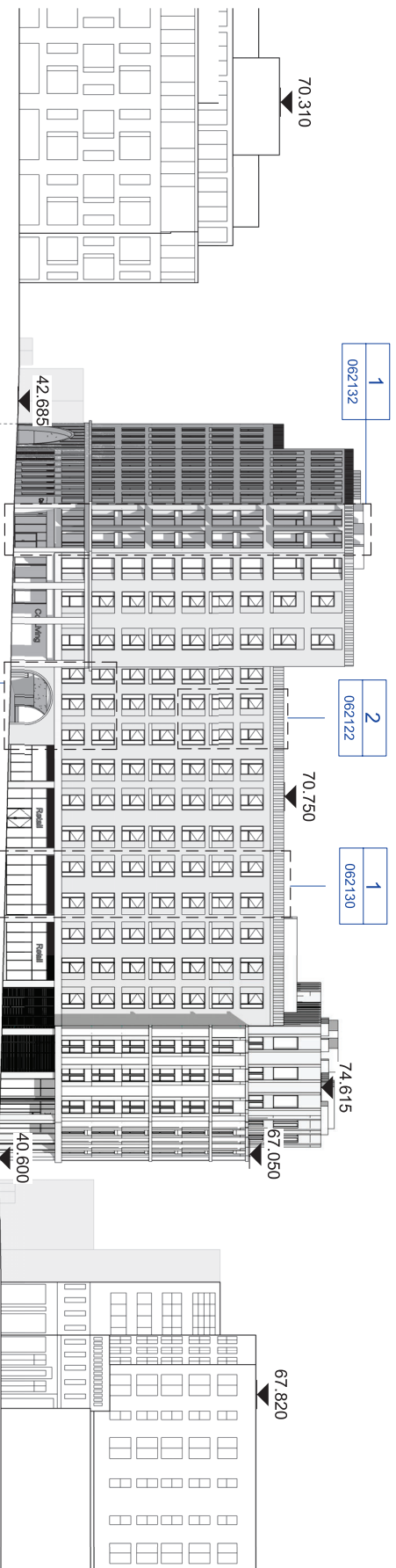
Client  
DNA (UXBRIDGE) UXB LTD  
Project Reference  
P23-110  
Scale 0:1  
1 : 500

Date  
28/03/2024  
Drawn By  
DJ  
Checked By  
AD

Drawing Number  
060108 A

Drawing Number  
CG1-Z0-XX-DR-A-060108  
28A Easton St, Exmouth  
Market, London WC1X 0DS  
020 7539 1200  
www.cguk.com





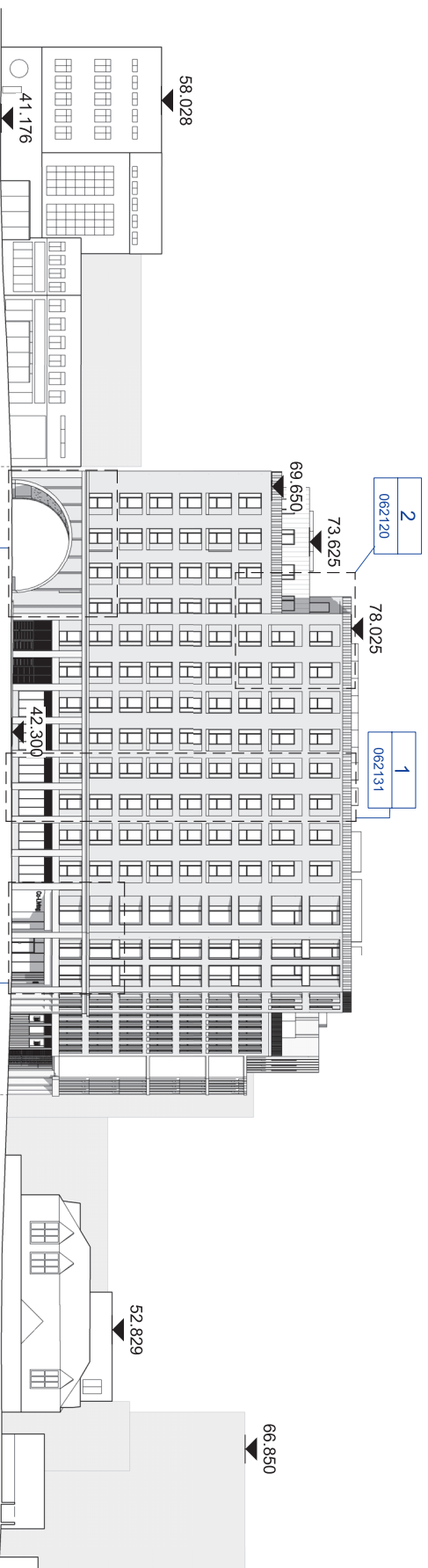
**Belmont Road Elevation**

1

1 : 500

062122

Site



**Bakers Road Elevation**

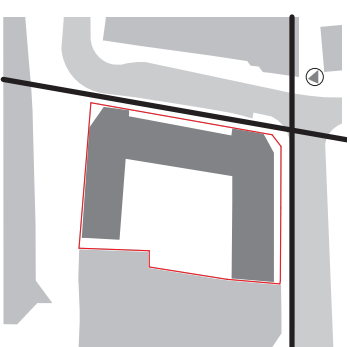
2

1 : 500

062123

Site

062120



Project  
148-154 Uxbridge High Street,  
UB8 3JY, Hillingdon

Proposed Site  
PROPOSED SITE ELEVATIONS BB

Project Status  
PLANNING

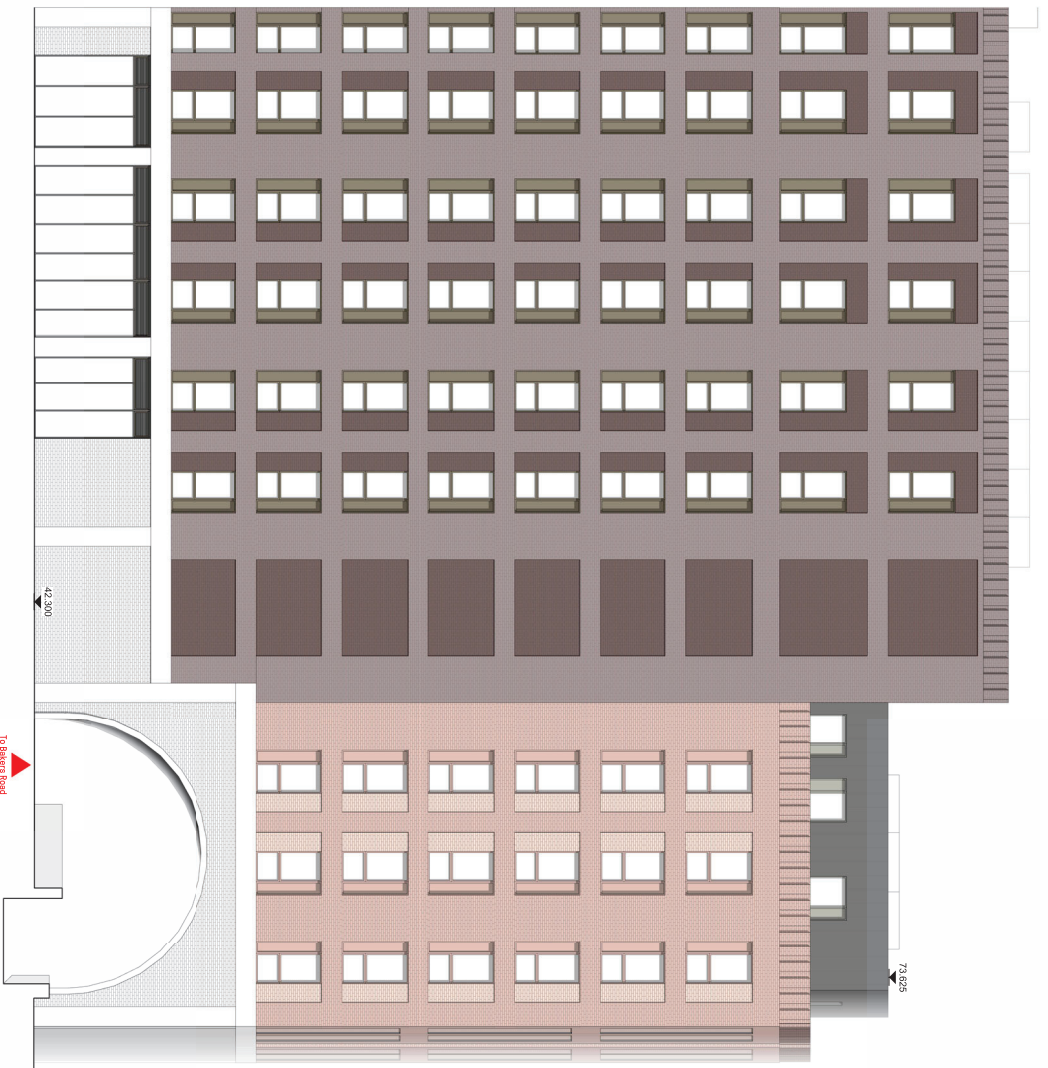
DNA | REAL  
ESTATE  
**MODA**

Client  
DNA (UXBRIDGE) UXB  
LTD  
Project Number  
P23-110  
Scale 0:1  
1 : 500

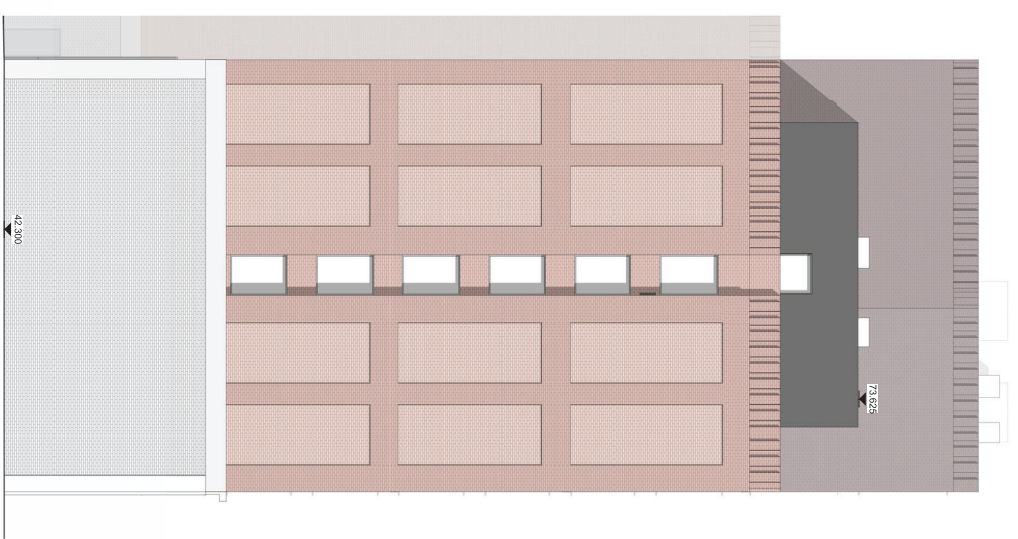
Date  
28/03/2024  
Drawing Number  
060109  
Revision  
A

Drawing Number  
CG1-Z0-XX-DR-A-060109  
28A Easton St, Exmouth  
Market, London WC1X 0DS  
020 7539 1200  
www.cguk.com

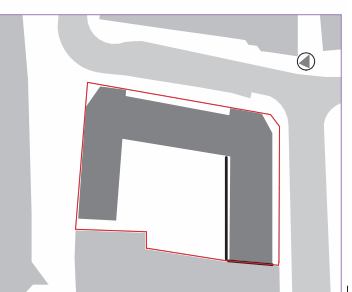




1 Coliving Elevation - Courtyard West  
1:100



2 Coliving Elevation - Cocks Yard  
1:100



2024/25, 10 Riverside Way  
Rev. 28 By Description

148-154 Lukeidge High Street,  
UB8 3JY, Hillingdon

PROPOSED COLIVING WEST & SOUTH FLANK  
ELEVATION

PROFESSIONAL  
PLANNING

DNA | REAL  
ESTATE

**MODA**

Client: DNA (UXBRIDGE) LTD  
Company Number: UX8

Project Number: P23-110  
Scale: 1 : 100

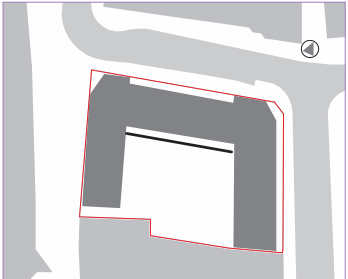
Date: 28/03/2024  
Drawing Number: DJ AD

062102

Drawing Number: UX8-CGL-20-XX-DR-A-062102

28A Easton St, Epsom, Surrey, Middlesex, London WOX 0DS  
020 7539 1200  
www.dnareal.com





2024.05.10  
 Rev 28  
 By Description

148-154 Lixbridge High Street,  
 UB8 3YJ, Hillingdon

**PROPOSED COLIVING SOUTH ELEVATION**

Propositions  
**PLANNING**

Client Logo

**DNA | REAL  
 ESTATE**

**MODA**

Client: **DNA (UXBRIDGE) LTD**

Contract Number: **LXB**

Project Number: **P23-110**

Scale: A1

1 : 100

Date: **28/03/2024**

Drawn By: **DJ**

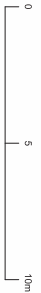
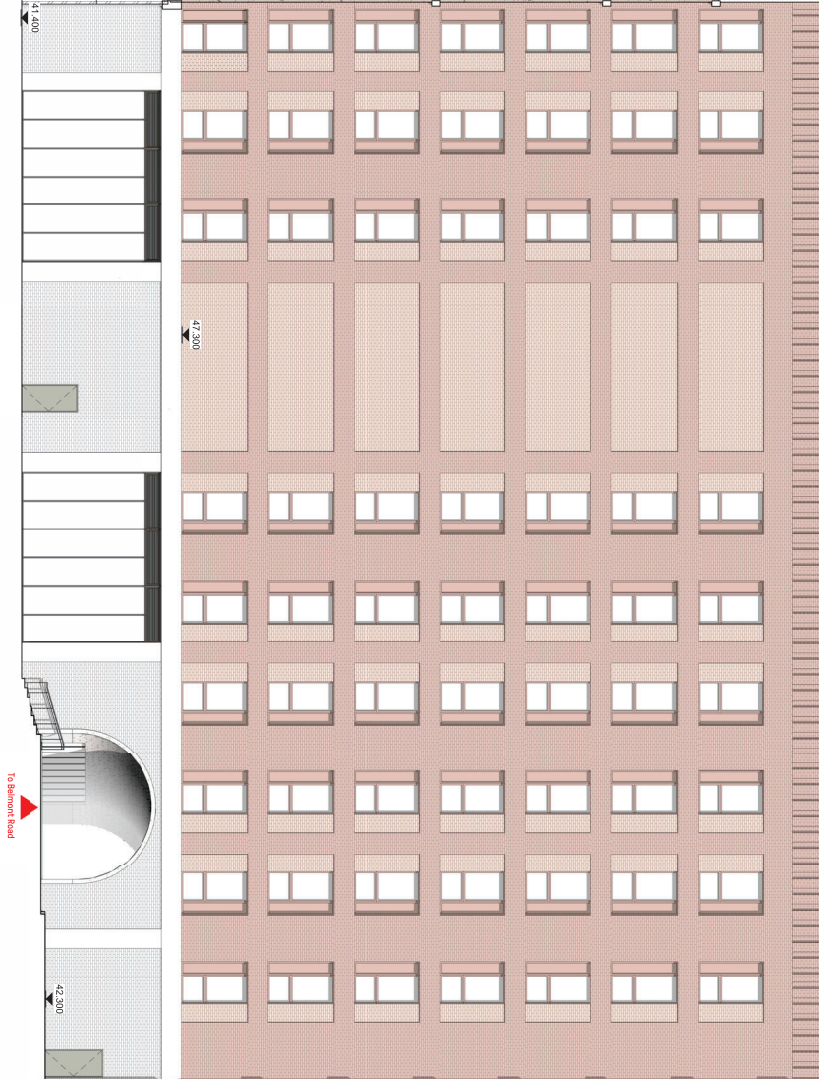
Checked By: **AD**

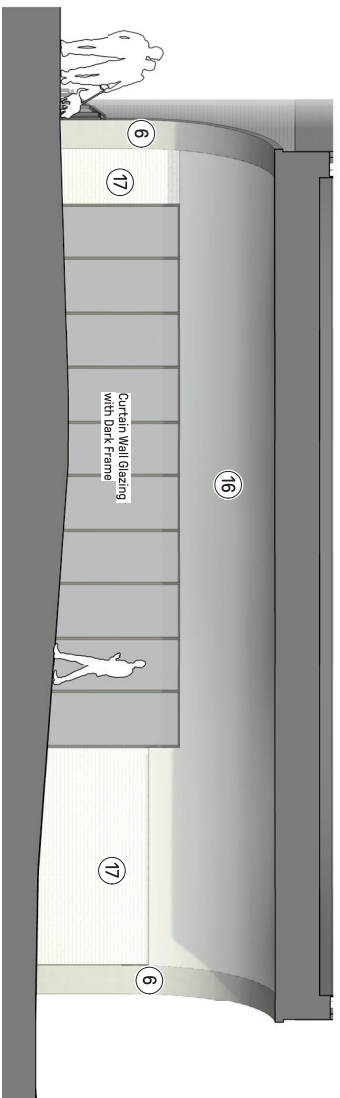
Drawing Number: **062101**

Revision: **-**

Formal Number: **LXB-CGL-20-XX-DR-A-062101**

28A Easton St, Epsom, Surrey, Middlesex, London WXX 0DS  
 020 7539 1200  
 www.dnareal.com





1 Belmont Passageway - East Elevation  
1:50



2 Belmont Passageway - West Elevation  
1:50

- Material Key**
- 1 Dark Stone Block, Dark Mosaic, Structure Bond
  - 2 Dark Stone Block, Light Mosaic, Structure Bond
  - 3 MC7 Stone Block, Dark Mosaic, Structure Bond
  - 4 MC7 Stone Block, Light Mosaic, Structure Bond
  - 5 White Brick, White Mosaic, Structure Bond
  - 6 Formed Composite Cladding Elements, Dark Mosaic
  - 7 Composite Cladding Panels, Light Grey
  - 8 Composite Cladding Panels, Dark Mosaic
  - 9 Primer Coated Metal, Dark Brown
  - 10 Primer Coated Metal, Dark Grey
  - 11 Primer Coated Metal, Dark Grey
  - 12 Primer Coated Metal, Dark Grey
  - 13 Metal Cladding, Grey
  - 14 Zinc Cladding System, Standing Seam
  - 15 Primer Coated Metal, Dark Mosaic
  - 16 Primer Coated Metal, Dark Mosaic
  - 17 Metal Mosaic, Structure Bond

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**Project:**  
148-154 Uxbridge High Street,  
UB8 3JY, Hillingdon

**Project Title:**  
PROPOSED BELMONT PASSAGeway  
ELEVATIONS

**Project Status:**  
PLANNING  
Drawn: 1/23/24

**DNA | REAL ESTATE**

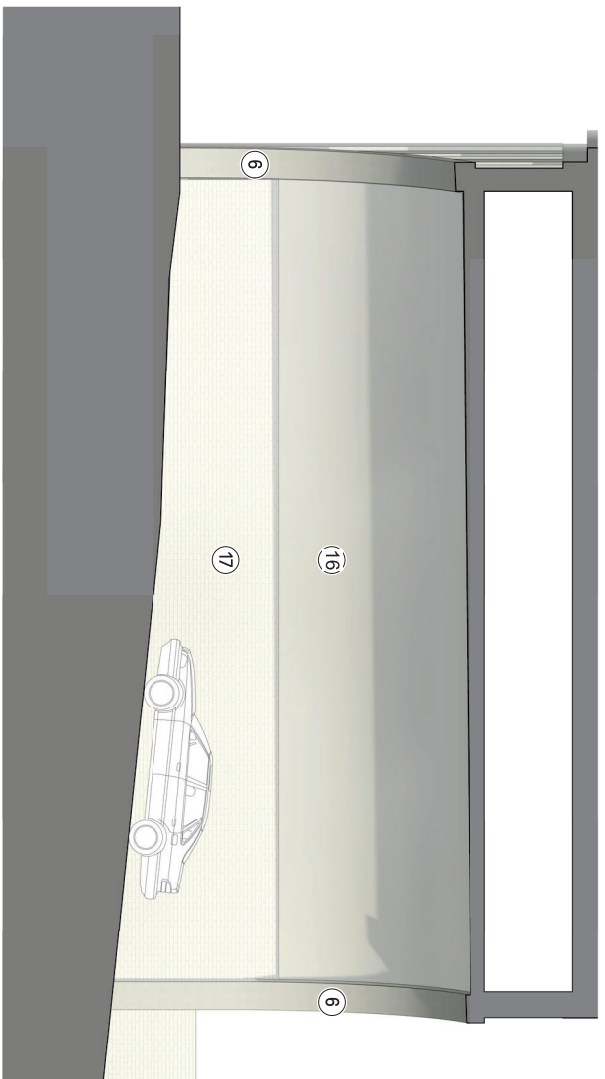
**MODA**  
CONCRETE  
DNA (UXBRIDGE) LTD  
DNA

**Project No.:** P23-110  
**Scale:** As Indicated

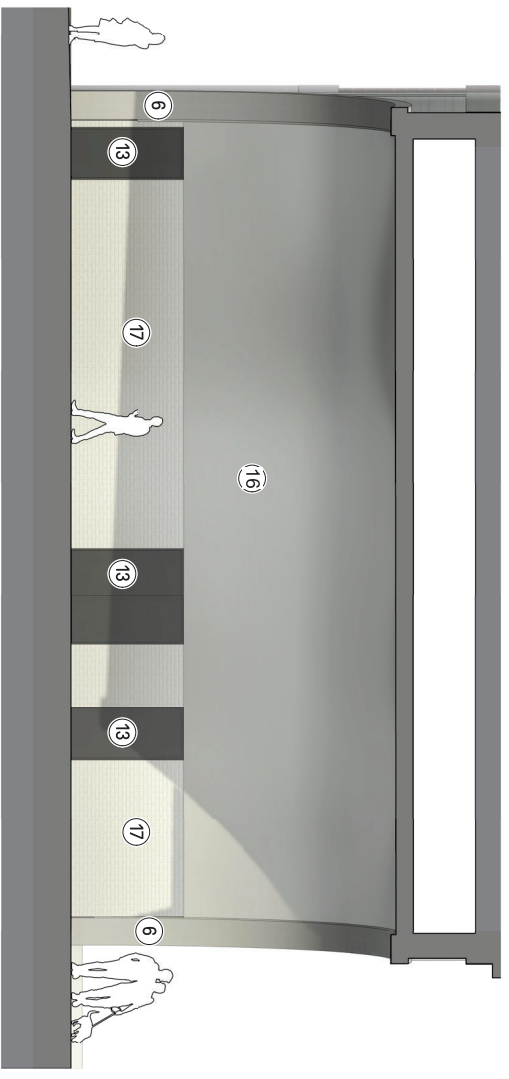
**Date:** 28/03/2024  
**Drawn by:** DJ  
**Checked by:** AD  
**Project No.:** 062105

**Client:** UBR-06L-20-XX-DR-A-062105  
**Address:** 281 Easton St, Ermoth  
Market, London W1X 0DS  
**Contact:** 020 7339 7200  
www.gjll.co.uk





1 Bakers Passageway - North Elevation  
1:50



2 Bakers Passageway - South Elevation  
1:50

- Material Key**
- 1 Dark Stone Block, Dark Matt, Structure Bond
  - 2 Dark Stone Block, Light Matt, Structure Bond
  - 3 MC7 Stone Block, Dark Matt, Structure Bond
  - 4 MC7 Stone Block, Light Matt, Structure Bond
  - 5 White Block, White Matt, Structure Bond
  - 6 Formed Composite Cladding Elements, 60x180x6
  - 7 Composite Cladding Panel, Light Grey
  - 8 Composite Cladding Panel, 60x180x6
  - 9 Primer Coated Metal, Dark Green
  - 10 Primer Coated Metal, Dark Green
  - 11 Primer Coated Metal, Dark Green
  - 12 Primer Coated Metal, Dark Green
  - 13 Primer Coated Metal, Dark Green
  - 14 Metal Cladding, Grey
  - 15 Zinc Cladding System, Standing Seam
  - 16 Primer Coated Metal, Dark Green
  - 17 Metal Cladding, Grey
  - 18 Metal Cladding, Grey

2024.04.10  
 148-154 Uxbridge High Street,  
 UB8 3JY, Hillingdon

**PROPOSED BAKERS PASSAGEWAY ELEVATIONS**

Project Status  
**PLANNING**

DNA | REAL  
 ESTATE

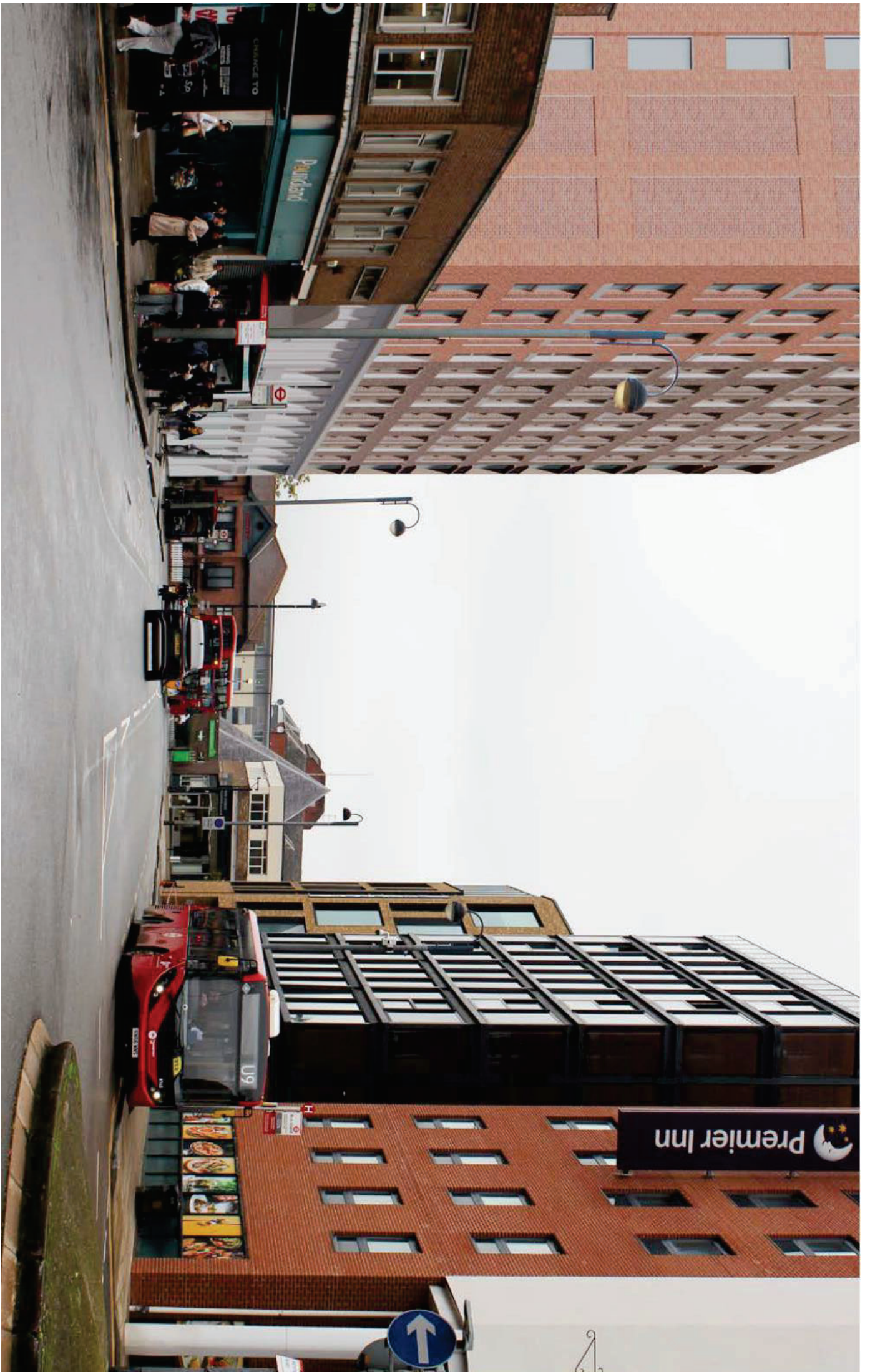
**MODA**

Client: DNA (UXBRIDGE) LTD  
 Location: Ux8  
 Project No: P23-110  
 Date: 28/03/2024  
 Drawn by: DJ  
 Checked by: AD  
 Project No: 062106

281 Easton St, Ermoth 020 7339 7200  
 Market, London W1X 0DS www.dnareal.com

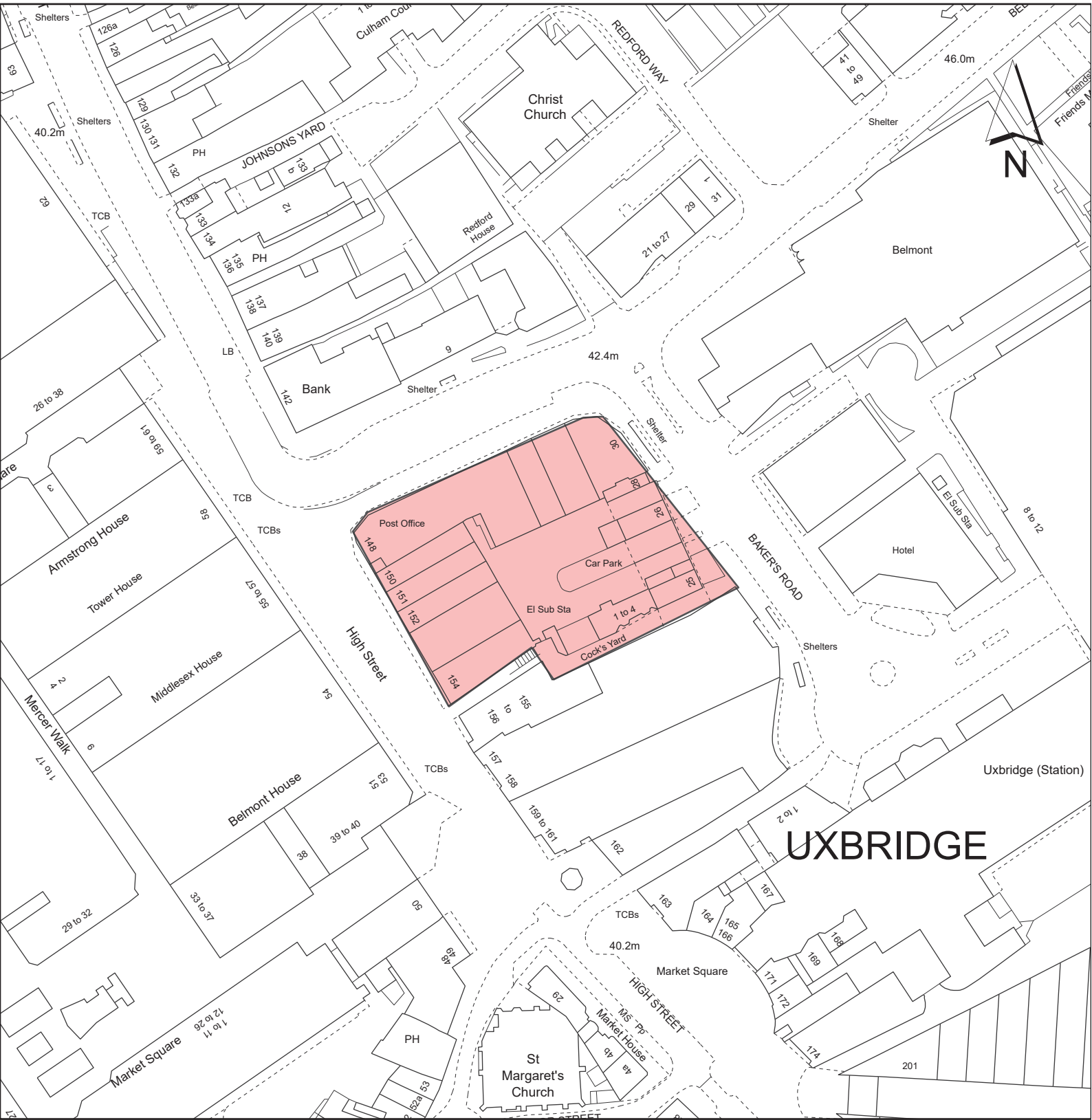














<p><b>KEY :</b></p> <p> Site Boundary</p>	<p><b>ADDRESS :</b></p> <p>148-154 High Street</p>		<p><b>LONDON BOROUGH OF HILLINGDON</b></p> <p><b>RESIDENTS SERVICES PLANNING SECTION</b></p>
<p><b>DISCLAIMER :</b></p> <p>For identification purposes only          This copy has been made by or with the authority of the Head of Committee Services pursuant to section 47 of the Copyright, Designs and Patents Act 1988 (the Act).          Unless the Act provides a relevant exception to copyright</p> <p>© Crown copyright and database rights 2024 Ordnance Survey          AC0000810857</p>	<p><b>PLANNING APPLICATION REFERENCE :</b></p> <p>78696/APP/2024/867</p>	<p><b>SCALE :</b></p> <p>1:1,250</p>	<p><b>CIVIC CENTRE, UXBRIDGE, UB8 1UW</b></p> 
	<p><b>PLANNING COMMITTEE :</b></p>	<p><b>DATE :</b></p> <p>09/04/2025</p>	

## Report of the Head of Development Management and Building Control

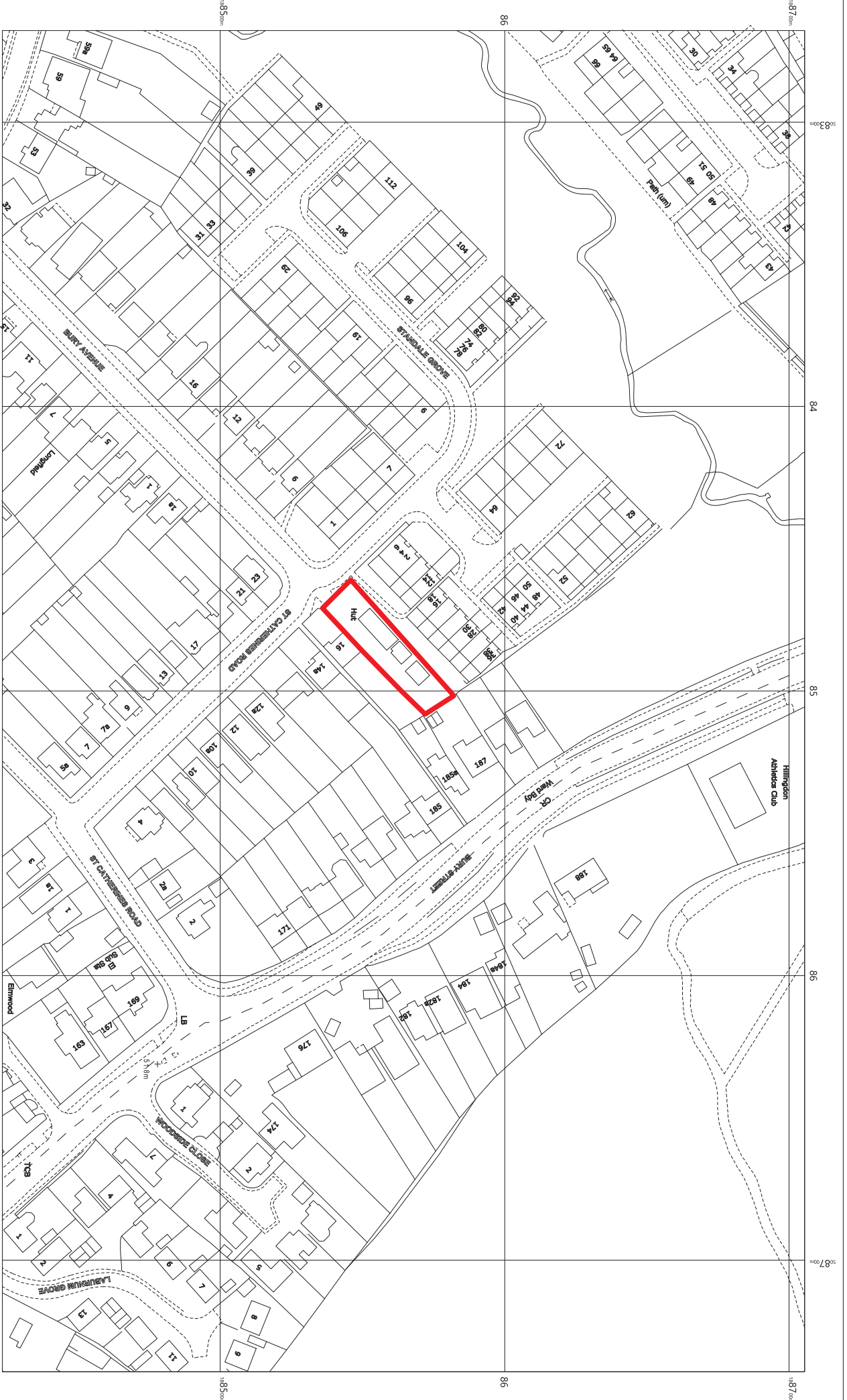
**Address:** 2nd/ 9th Ruislip Scout Group, 18 St Catherines Road, Ruislip

**Development:** Variation of Condition 2 (Accordance with Approved Plans), Conditions 3 (Tree Protection) and 5 (Landscaping) of planning permission ref. 6039/APP/2021/3465 dated 03-03-2022 (Removal of derelict scout hut and storage unit to facilitate the erection of a replacement single storey scout hut building)

The minor material amendments include:

- Changes to accessibility (with external ramp and disabled parking), hard and soft landscaping and external fittings.
- Minor change to the building overall positioning on the site.
- Fenestration changes on front elevation plan with repositioning of fire exit door.

**LBH Ref Nos:** 6039/APP/2024/3226

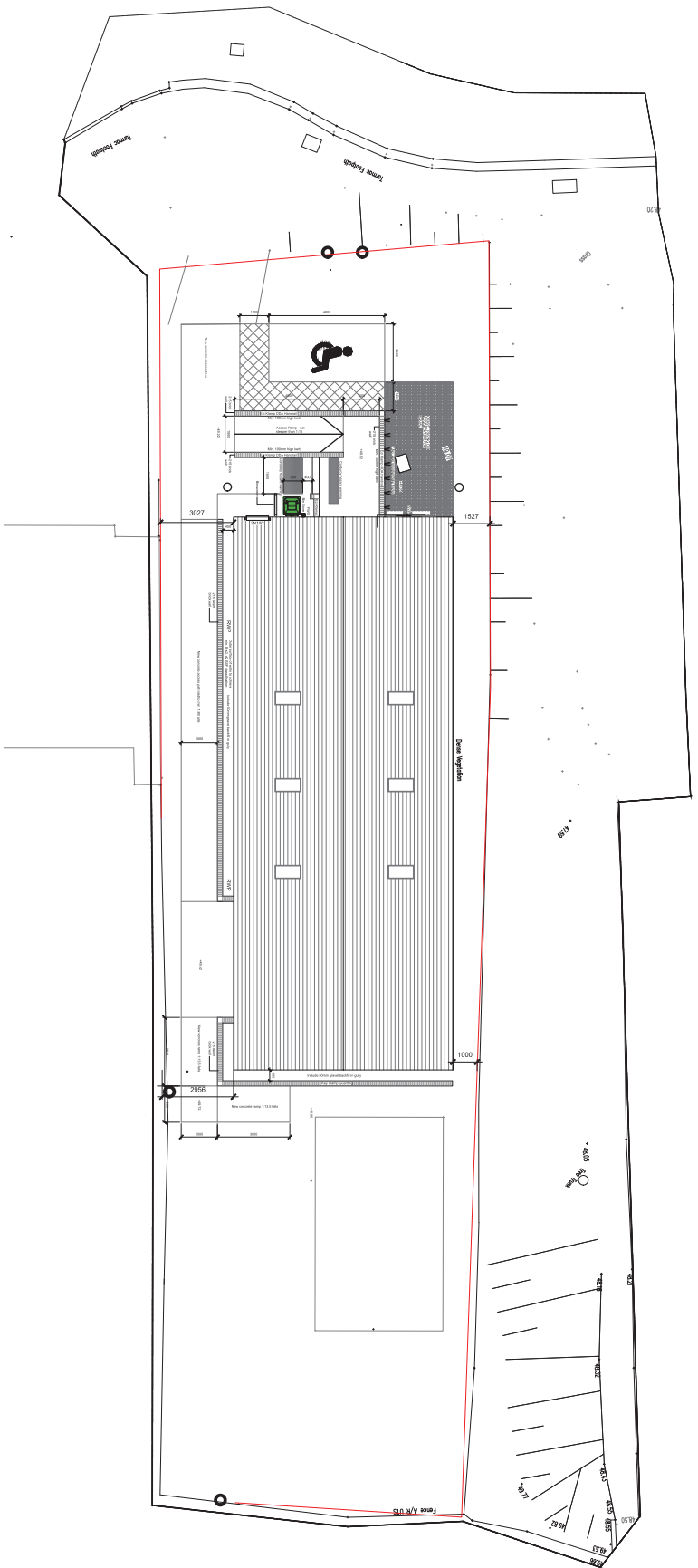


**1**  
**LOCATION PLAN**

1 : 1250



<b>PROJECT</b> <b>SCOUT HUT</b>		<b>CLIENT</b> <b>2ND/9TH SCOUT GROUP</b> 18 St. Catharines Rd, Ruislip HA4 7RU T 07563 730210 W www.secondinrh.com	
<b>SHEET</b> <b>LOCATION PLAN</b>		Date 20/07/2021	Project number 01
		Purpose PLANNING	Scale (@ A3) As indicated
		DRAWING NUMBER AB001	REV



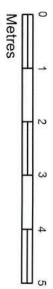
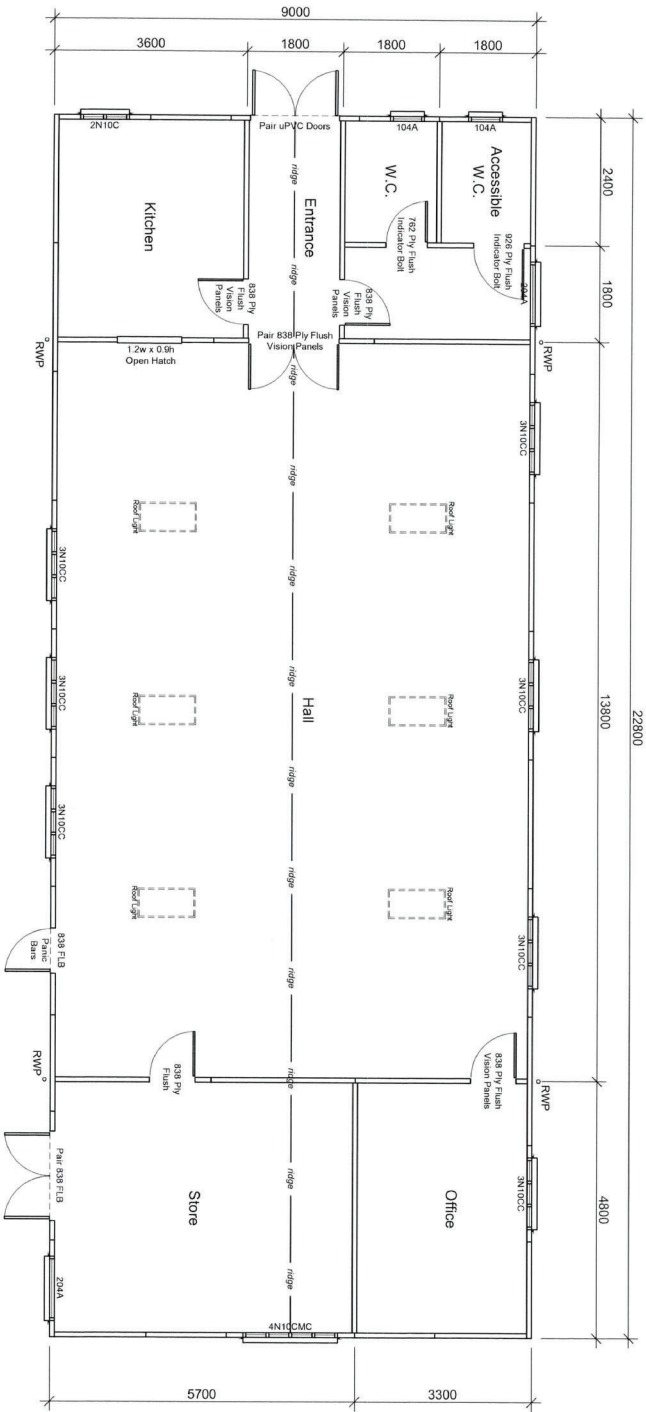
Plan: A - 00.01.25 - Albany reserved  
 Plan: B - 10.03.25 - Albany reserved  
 Plan: C - 28.03.25 - Road/Right of Way in lieu of CA  
 Plan: D - 28.03.25 - Albany adjacent to parking of building

**T R Harris Design & Surveying Services**  
 2000/18 St Catharines Road  
 RU/SL/P  
 www.trharrisdesign.com.au Tel: 050 868 9248

**PROJECT**  
 2nd & 9th Scout Group  
 18 St Catharines Road  
 RU/SL/P  
 HA4 TRU

**TITLE**  
 Site Plan - General Layout

SCALE 1:100 @ A1	DRAWING NO 23/HSC/01/0
DATE June 2024	



**PASSMORES**  
EST - 1979

High Street, Strood, Rochester, Kent, ME2 4DR  
Tel: 01634 890033 info@passmores.co.uk  
Fax: 01634 890084 www.passmores.co.uk

Customer

Ruislip Scouts,  
c/o Mr Norton, 18 Sharps Lane,  
Ruislip,  
Middlesex, HA4 7JQ

Description

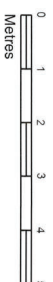
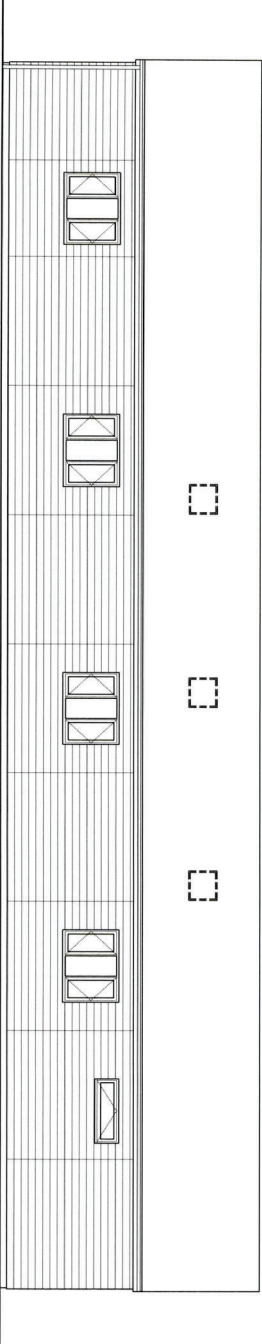
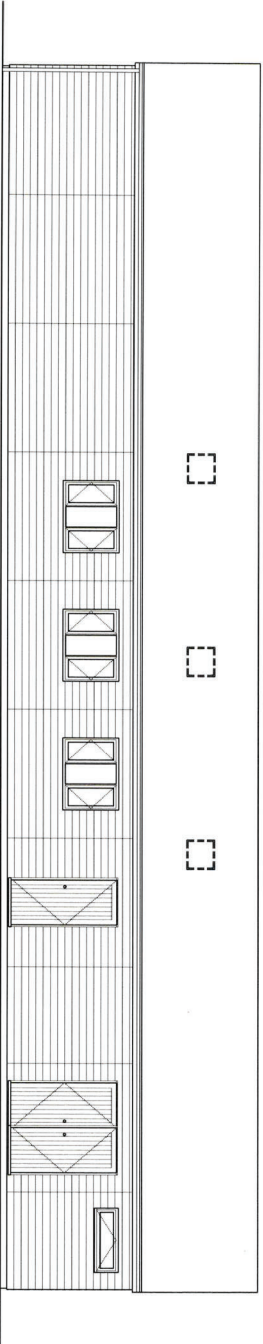
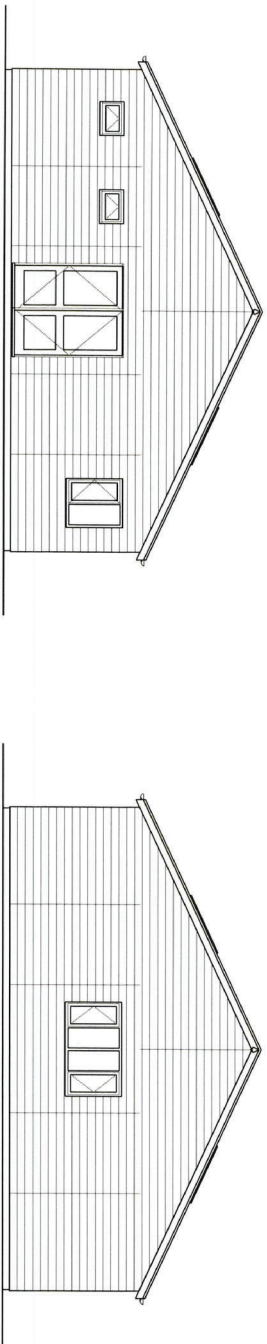
22.80m x 9.00m  
Club Range Building  
Sheet 2

Rev	Description	Date
A	2XCG doors changed to UPVC and F.I.B.	18.07.2023
B	Revision to office, store and rear areas.	08.05.2024

Date	Scale	Drawn	Checked
06.05.2021	1:100 @ A3	J.M.I.D	

Drawing No	Rev
52-69249-SHEET2	B

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**PASSMORES**  
EST. 1929

High Street, Stroud, Gloucester, Kent, ME2 4DR  
Tel: 01634 290033 Info@passmores.co.uk  
Fax: 01634 290094 www.passmores.co.uk

Customer  
Ruslip Scouts.  
c/o Mr Norton, 18 Sharps Lane,  
Ruslip,  
Middlesex, HA4 7JQ

Description  
22.80m x 9.00m  
Club Range Building  
Sheet 3

Rev	Description	Date
A	2X6C doors changed to uPVC and FLB	18.01.2023
B	Single FLB door replaced	13.05.2024

Date	Scale	Drawn	Checked
06.05.2021	1:100 @ A3	J.M.D	

Drawing No	Rev
52-69249-SHEET3	B

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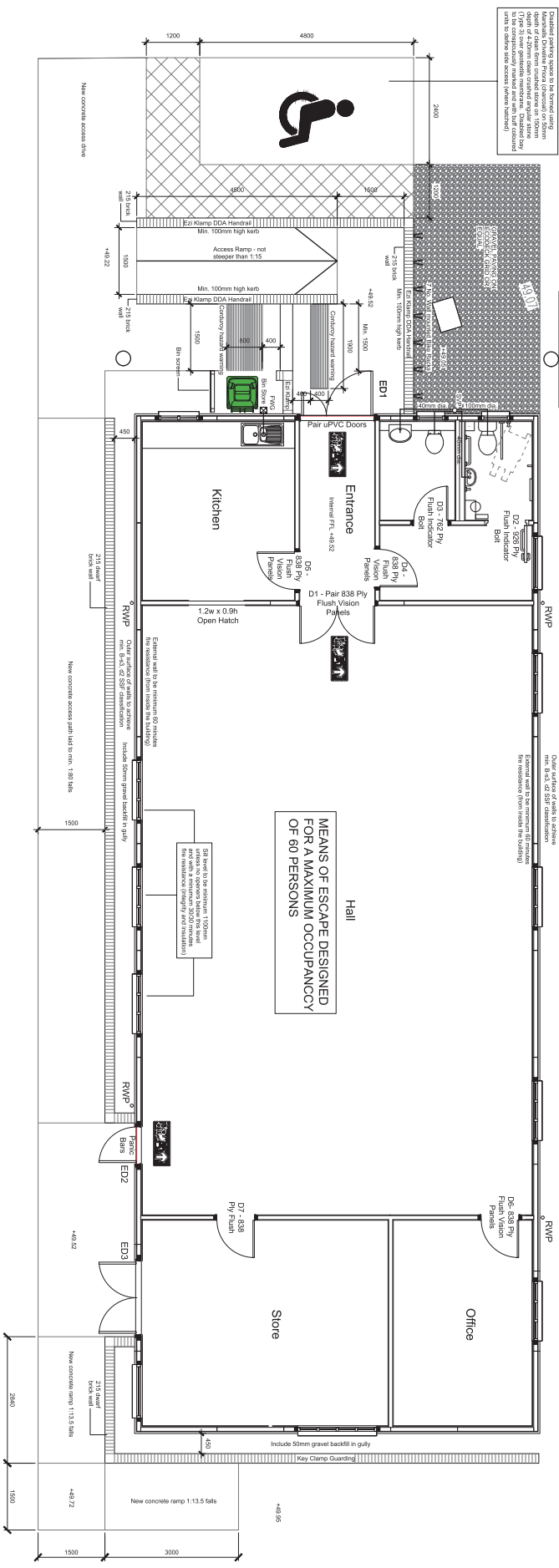
EMERGENCY LIGHTING TO BS 5266 TO BE PROVIDED THROUGHOUT INCLUDING EXTERNAL ESCAPE ROUTES

**UNPROTECTED AREAS AND OCCUPANCY**

UNPROTECTED ELEVATION	AREA OF NEW ELEVATION = 43.77 <sup>2</sup>
BOUNDARY DISTANCE = 1.8M	PERMISSIBLE UNPROTECTED AREAS INTERPOLATED FROM TABLE 13.1 = 12 <sup>2</sup>
TOTAL WINDOW AREA = 6.16M <sup>2</sup>	ACTUAL PERCENTAGE = 6.16/31.5 X 100 = 11.4%
<b>SCOTT ELEVATION</b>	AREA OF SE ELEVATION = 53.79 <sup>2</sup>
BOUNDARY DISTANCE = 2.3M	PERMISSIBLE UNPROTECTED AREAS (TABLE 13.1) = 72 <sup>2</sup>
TOTAL WINDOW/DOOR AREA = 10.09M <sup>2</sup>	ACTUAL PERCENTAGE = 10.09/31.5 X 100 = 59%

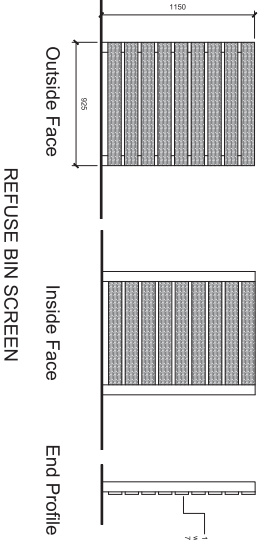
Number of persons in each room of a category is to be provided above ED1 to door entry systems is provided in accordance with BS 5266 (see page 2.21 of BS 5266)

EMERGENCY LIGHTING TO BS 5266 TO BE PROVIDED THROUGHOUT INCLUDING EXTERNAL ESCAPE ROUTES



**MEANS OF ESCAPE DESIGNED FOR A MAXIMUM OCCUPANCY OF 60 PERSONS**

SCALE BAR 1:50



**DOOR SCHEDULE (CONTINUE)**

- ED1 Door selector to achieve min. clear opening of 800mm with level access provided to manufacturer's details
  - Minimum opening clear of leading edge to 200 from 1<sup>st</sup> to 3<sup>rd</sup> step and 22.2N from 3<sup>rd</sup> to 2<sup>nd</sup> step
  - Production of glazing with safety glass to BS 8206, Class B and EN 12009 with minimum zone of visibility between glazing panes to BS 8206, Class B and EN 12009 (minimum height between 900-1100mm above FFL)
  - Production of glazing D and/or furniture or other fire door is situated, suitable D fire furniture that can be operated with door handle. Door handle to comply with BS 5266 (see page 2.21 of BS 5266)
  - Door to achieve a minimum U-value of 1.8
- ED2 Door selector to achieve min. clear opening of 800mm with level access provided to manufacturer's details
  - Minimum opening clear of leading edge to 200 from 1<sup>st</sup> to 3<sup>rd</sup> step and 22.2N from 3<sup>rd</sup> to 2<sup>nd</sup> step
  - Production of glazing with safety glass to BS 8206, Class B and EN 12009 with minimum zone of visibility between glazing panes to BS 8206, Class B and EN 12009 (minimum height between 900-1100mm above FFL)
  - Production of glazing D and/or furniture or other fire door is situated, suitable D fire furniture that can be operated with door handle. Door handle to comply with BS 5266 (see page 2.21 of BS 5266)
  - Door to achieve a minimum U-value of 1.8
- ED3 Door to achieve a minimum U-value of 1.8
  - Door to achieve a minimum U-value of 1.8
  - Door to manufacturer's details
  - Level furniture, lock and glazing to BS 8206, Class B and EN 12009
  - Production of glazing with safety glass to BS 8206, Class B and EN 12009
  - Door to achieve a minimum U-value of 1.8
- ED4 Double door set selection to ensure that a minimum clear opening of 800mm is achieved with one door half open. Production of glazing D and/or furniture or other fire door is situated, suitable D fire furniture that can be operated with door handle. Door handle to comply with BS 5266 (see page 2.21 of BS 5266)
- ED5 Door selector to achieve min. clear opening of 800mm with level access provided to manufacturer's details
  - Minimum opening clear of leading edge of 200 from 1<sup>st</sup> to 3<sup>rd</sup> step and 22.2N from 3<sup>rd</sup> to 2<sup>nd</sup> step
  - Production of glazing with safety glass to BS 8206, Class B and EN 12009 with minimum zone of visibility between glazing panes to BS 8206, Class B and EN 12009 (minimum height between 900-1100mm above FFL)
  - Production of glazing D and/or furniture or other fire door is situated, suitable D fire furniture that can be operated with door handle. Door handle to comply with BS 5266 (see page 2.21 of BS 5266)
  - Door to achieve a minimum U-value of 1.8
- ED6 Door selector to achieve min. clear opening of 800mm with level access provided to manufacturer's details
  - Minimum opening clear of leading edge of 200 from 1<sup>st</sup> to 3<sup>rd</sup> step and 22.2N from 3<sup>rd</sup> to 2<sup>nd</sup> step
  - Production of glazing with safety glass to BS 8206, Class B and EN 12009 with minimum zone of visibility between glazing panes to BS 8206, Class B and EN 12009 (minimum height between 900-1100mm above FFL)
  - Production of glazing D and/or furniture or other fire door is situated, suitable D fire furniture that can be operated with door handle. Door handle to comply with BS 5266 (see page 2.21 of BS 5266)
  - Door to achieve a minimum U-value of 1.8
- ED7 Door selector to achieve min. clear opening of 800mm with level access provided to manufacturer's details
  - Minimum opening clear of leading edge of 200 from 1<sup>st</sup> to 3<sup>rd</sup> step and 22.2N from 3<sup>rd</sup> to 2<sup>nd</sup> step
  - Production of glazing with safety glass to BS 8206, Class B and EN 12009 with minimum zone of visibility between glazing panes to BS 8206, Class B and EN 12009 (minimum height between 900-1100mm above FFL)
  - Production of glazing D and/or furniture or other fire door is situated, suitable D fire furniture that can be operated with door handle. Door handle to comply with BS 5266 (see page 2.21 of BS 5266)
  - Door to achieve a minimum U-value of 1.8

Rev. A - 08/08/24 - Revised partition layout, amended fire door and new risk assessment. Power and data conduits included.  
 Rev. B - 08/12/24 - Power and data conduits included.  
 Rev. C - 10/03/25 - Revisy revised

**T R Harris Design & Surveying Services**  
 2nd & 9th South Group  
 18 St Catharines Road  
 RUSLIP  
 HA4 7RU

PROJECT  
 2nd & 9th South Group  
 18 St Catharines Road  
 RUSLIP  
 HA4 7RU

TITLE  
 General Arrangements

SCALE 1:20 & 1:50 @ A1  
 DATE October 2023  
 DRAWING NO. 23/HSC/02/C  
 DATE October 2023





# PASSMORES CLUB RANGE

This drawing relates to tiled roof Club Range buildings without verandah. Passmores design and manufacture the timber superstructure to be erected onto foundations designed and constructed by the customer.

## FOUNDATIONS

A trench foundation or block & beam foundation will suit the Passmores superstructure. For buildings under 50m<sup>2</sup> a concrete raft may be satisfactory. Please refer to attached foundation drawing. Depth and width of perimeter trench and overall concrete thickness depends upon ground conditions. In the event of proximity to mature trees a local structural engineer should be consulted.

## SUPERSTRUCTURE WALLS

Passmores supply and lay a bitumen felt dpc. The factory made wall panels are constructed from softwood sole and head plates and studs at 600mm centres. Frame size is 4 x 2 CLS. Eaves height is 2.40m. Racking forces are taken by 9mm osb III sheathing. Structural partitions are clad one side to eaves in 9mm osb III. Side wall head rails are doubled, studs are doubled at panel joints and trebled at corners. Panels are joined with bolts. Openings supporting trusses are spanned with solid or box beams. Cladding, as specified opposite, is fixed over Tyvek with 12 gauge stainless steel nails. An optional 19mm wall cavity can be specified. Cladding, sole plate, fascias and bargeboards are pressure preservative treated. Wall panels are anchored with fabricated steel brackets and concrete screws. UPVC door and window joinery is A+ double glazed.

## ROOF

Buildings are supplied with fabricated trussed rafters by specialist manufacturer, constructed to BS EN 14250 and spaced at 0.6m centres. Trusses are pressed metal bracketed to walls. Longitudinal and rafter diagonal bracing is fitted in accordance with truss manufacturer's recommendations. Gables are clad in shiplap over Tyvek and fitted with bargeboards. Side wall eaves have fascias and open eaves ventilation trays with integrated fly screening. Roof covering on 50 x 25 treated battens over breathable felt is specified opposite.

## RAINWATER DISPOSAL

Gutters and down pipes are an optional item from Passmores. Recommended down pipe positions are shown on the foundation drawing.

## OPTIONAL FLOOR (up to 50m<sup>2</sup>)

18 TG4 P5 chipboard with glued joints on 40mm SD grade EPS on 1200 gauge polythene dpm.

## CONSERVATION OF FUEL AND POWER

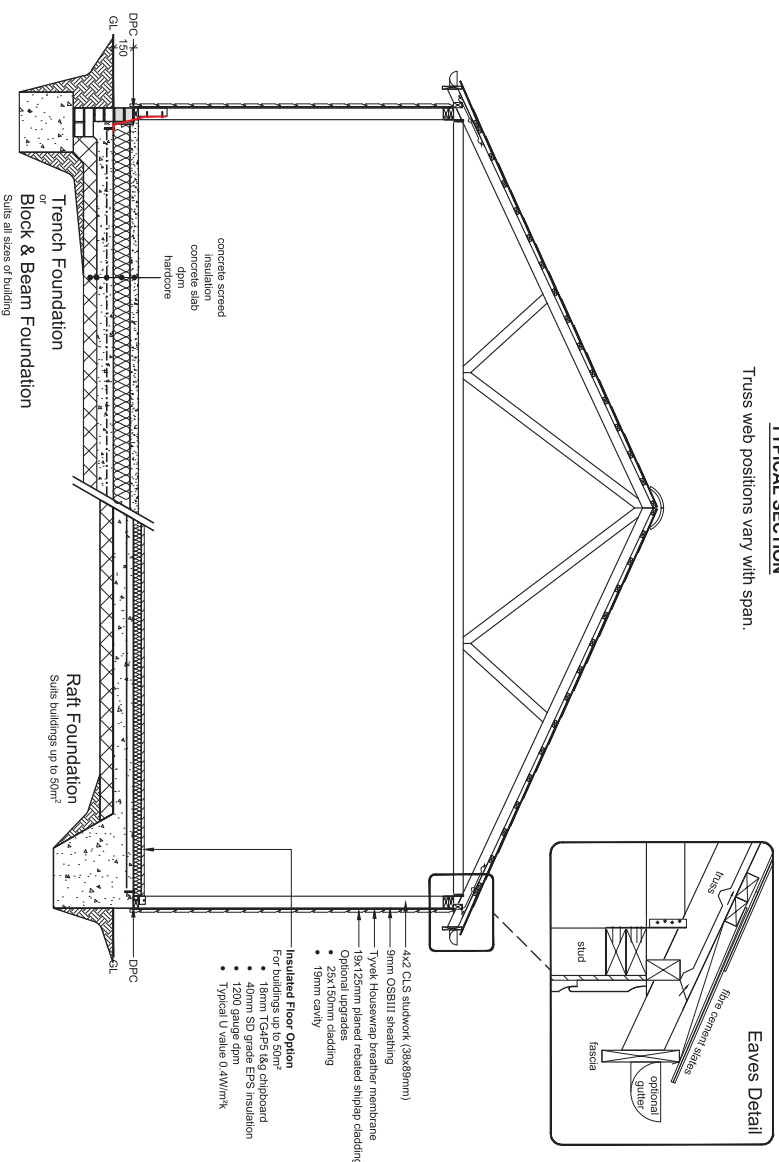
Guidance for customers to achieve compliance with Approved Document L Volume 2 of the Building Regulations.

- Buildings under 50m<sup>2</sup> useable floor area are exempt (Doc.L, Vol.2, 0.11.d refers). A U value of 0.43W/m<sup>2</sup>K can be achieved with 100mm mineral wool insulation fitted to walls and ceiling.
- Buildings over 50m<sup>2</sup> useable floor area with Low Energy Demand. Some buildings are for summer use only, e.g. cricket club. Provided any installed heating is limited to frost protection, the building will be classified as having a Low Energy Demand and a U value of 0.43W/m<sup>2</sup>K can be achieved with 100mm mineral wool insulation fitted to walls and ceiling.
- Buildings over 50m<sup>2</sup> useable floor area and fitted with a fixed heating system will be required to comply with Approved Document L Volume 2.

To achieve wall U value of 0.25W/m<sup>2</sup>K  
60mm PIR (0.022W/mK) between studs & 25mm PIR (0.022W/mK) under plasterboard

To achieve roof U value of 0.16W/m<sup>2</sup>K  
270mm of mineral wool in 2 layers over ceiling plasterboard.



TYPICAL SECTION  
Truss web positions vary with span.



**THIS BUILDING**  
Eaves Height : 2.40m  
Ridge Height : 4.62m  
Cladding : 25 x 150 Planned Shiplap with 19mm cavity  
Roof Pitch : 25°  
Roof Design Load : 685N/m<sup>2</sup>  
Roof Covering : Fibre Cement Slate

<p><b>PASSMORES</b> EST. 1988</p> <p>High Street, Strood, Rochester, Kent, ME2 4DR  <a href="mailto:info@passmores.co.uk">info@passmores.co.uk</a>            Tel: 01634 220094            Fax: 01634 220094  <a href="http://www.passmores.co.uk">www.passmores.co.uk</a></p>		<p>Customer  <b>Ruislip Scouts.</b>            c/o Mr Norton, 18 Sharps Lane,            Ruislip,            Middlesex. HA4 7JQ</p>	
<p>Description  <b>22.80m x 9.00m            Club Range Building            Sheet 1</b></p>		<p>Rev   Description            A   Update to latest specification.</p>	<p>Date            08.10.2023</p>
Date 06.05.2021	Scale N/A	Drawn J.M.D	Checked
Drawing No <b>52-69249-SHEET1</b>	Rev <b>A</b>		
<p>This drawing is copyright protected.            © Specially for Passmore building use.</p>			<p>Ref. 864-1            31-05-23</p>



<b>KEY :</b>  Site Boundary	<b>ADDRESS :</b> 2nd/9th Ruislip Scout Group, 18 St Catherines Road		<b>LONDON BOROUGH OF HILLINGDON</b>  <b>RESIDENTS SERVICES</b> <b>PLANNING SECTION</b>
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	<b>PLANNING COMMITTEE :</b>	<b>DATE :</b> 09/04/2025	